

**DOCUMENT RECORD ISSUE SHEET**

**Project:** CORSS WEST HOUSING, CROSS, CO. MAYO

**Job No:** A-586

**Issued To:**

	<b>E</b>	E-Mail	Client	E															
	<b>D</b>	DWG	Tendering Contactor	E															
	<b>P</b>	PDF	Quantity Surveyor	E															
	<b>P+D</b>	PDF+DWG	Civil / Structural Engineer	E															
	<b>No</b>	No of Hardcopy	Consultant M&E Engineer	E															
			PSDP																
			PROJECT SHAREPOINT	E															
			<b>ISSUE NO.</b>	<b>1</b>															
			<b>DATE</b>	31/03/2022															
			<b>ISSUED BY</b>																

**DOCUMENT STATUS**

**WIP (NON CONTRACTUAL)**

**S0** Work In Progress

**SHARED (NON CONTRACTUAL)**

<b>S1</b>	Coordination				<b>D1</b>	Costing													
<b>S2</b>	Information				<b>D2</b>	Tender													
<b>S3</b>	Review / Comment				<b>D3</b>	Contractor Design													
<b>S4</b>	Construction Approval																		

**CONTRACTUAL**

<b>A1</b>	PLANNING/ FSC/ DAC																		
<b>A2</b>	CONSTRUCTION																		
<b>A3</b>	AS-BUILT																		

Doc No.	STATUS	Title	SCALE	FORMAT	FORMAT														
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**PLANNING**

A586	MCC-P8-XX-DR-	A-5200	A1	SITE LOCATION MAP	1-1000	A1	/												
A586	MCC-P8-XX-DR-	A-5201	A1	SITE LAYOUT PLAN- LEVELS-BOUNDARY TREATMENTS- OVERVIEW	1-500	A1	/												
A586	MCC-P8-XX-DR-	A-5202	A1	SITE LAYOUT PLAN- LEVELS-BOUNDARY TREATMENTS- DETAIL	1-250	A1	/												
A586	MCC-P8-XX-DR-	A-5203	A1	PROPOSED SITE ELEVATIONS	1-200/ 1:100	A1	/												
A586	MCC-P8-XX-DR-	A-5204	A1	PROPOSED SITE SECTIONS	1-200	A1	/												
A586	MCC-P8-XX-DR-	A-5205	A1	PROPOSED 3D SITE OVERVIEW	1-200	A1	/												
A587	MCC-P9-XX-DR-	A-5206	A1	PROPOSED SITE SERVICES LAYOUT	1-200	A1	/												
A586	MCC-P8-XX-DR-	A-5210	A1	2 BED (4P) DORMER HOUSE TYPE- DETAILS	1-50	A1	/												
A586	MCC-P8-XX-DR-	A-5220	A1	3 BED (6P) TYPICAL DORMER HOUSE TYPE- DETAILS	1-50	A1	/												
A586	MCC-P8-XX-DR-	A-5230	A1	3 BED (6P) GABLE ENTRANCE DORMER DETAILS	1-50	A1	/												
A586	MCC-P8-XX-DR-	A-SL01	A1	EXISTING SITE SURVEY	1-500	A1	/												

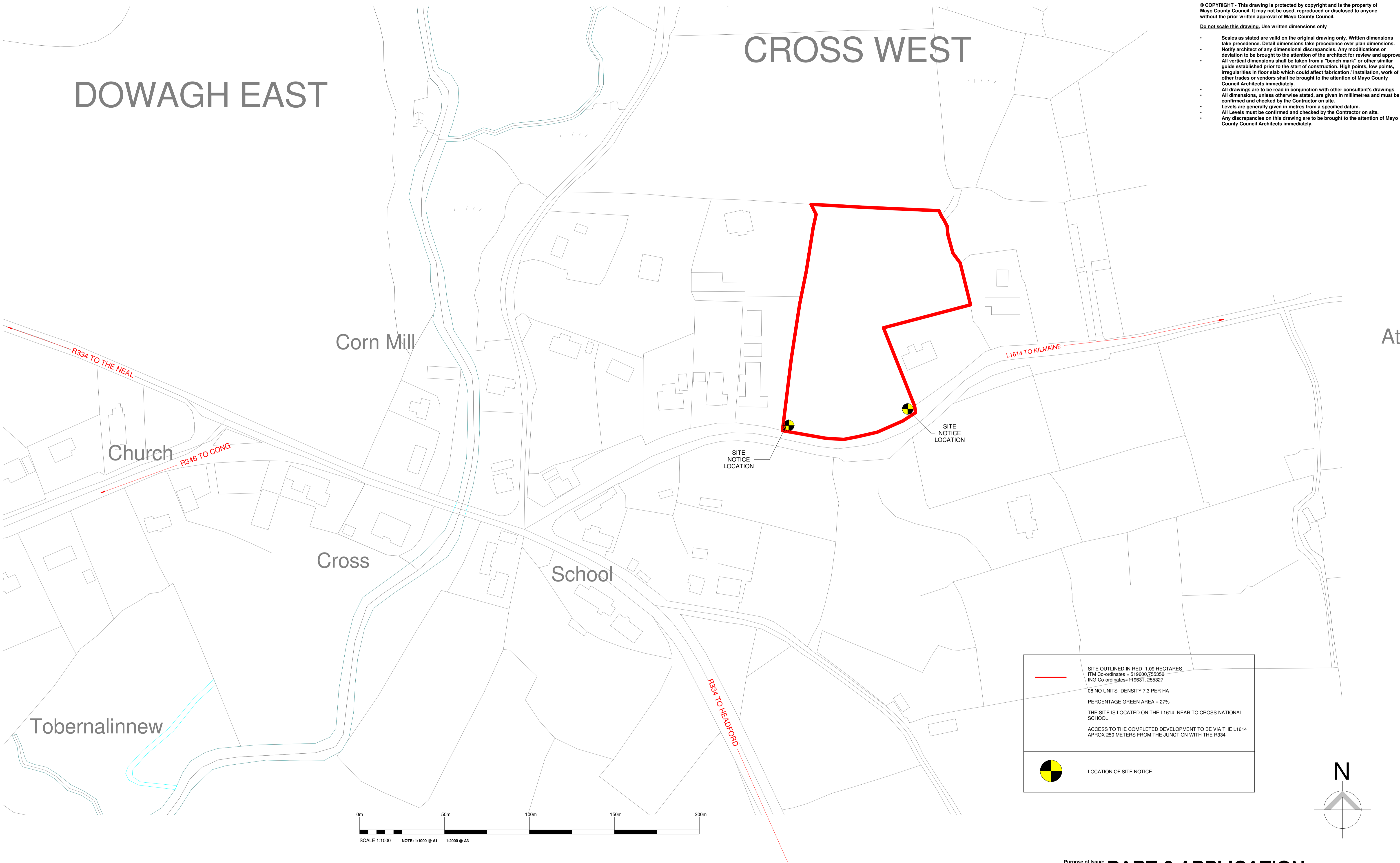
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DOWAGH EAST

CROSS WEST



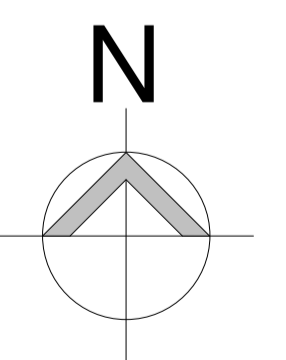
— SITE OUTLINED IN RED- 1.09 HECTARES  
 ITM Co-ordinates = 519600,755350  
 ING Co-ordinates=119631, 255327

08 NO UNITS - DENSITY 7.3 PER HA  
 PERCENTAGE GREEN AREA = 27%

THE SITE IS LOCATED ON THE L1614 NEAR TO CROSS NATIONAL SCHOOL

ACCESS TO THE COMPLETED DEVELOPMENT TO BE VIA THE L1614 APROX 250 METERS FROM THE JUNCTION WITH THE R334

LOCATION OF SITE NOTICE



Purpose of Issue: **PART 8 APPLICATION**

STATUS KEY			
Rev No.	Date	Comment	
SHARED / FOR INFORMATION			
S0		WORK IN PROGRESS	
S1		COORDINATION	
S2		INFORMATION	
S3		REVIEW / COMMENT	
S4		CLIENT APPROVAL	
D1		COSTING	
D2		TENDER	
D3		CONTRACTOR DESIGN	
PUBLISHED			
A1		PT8 / FISC / DAC	
A2		CONSTRUCTION	
AB		AS BUILT	



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 MAYO COUNTY COUNCIL

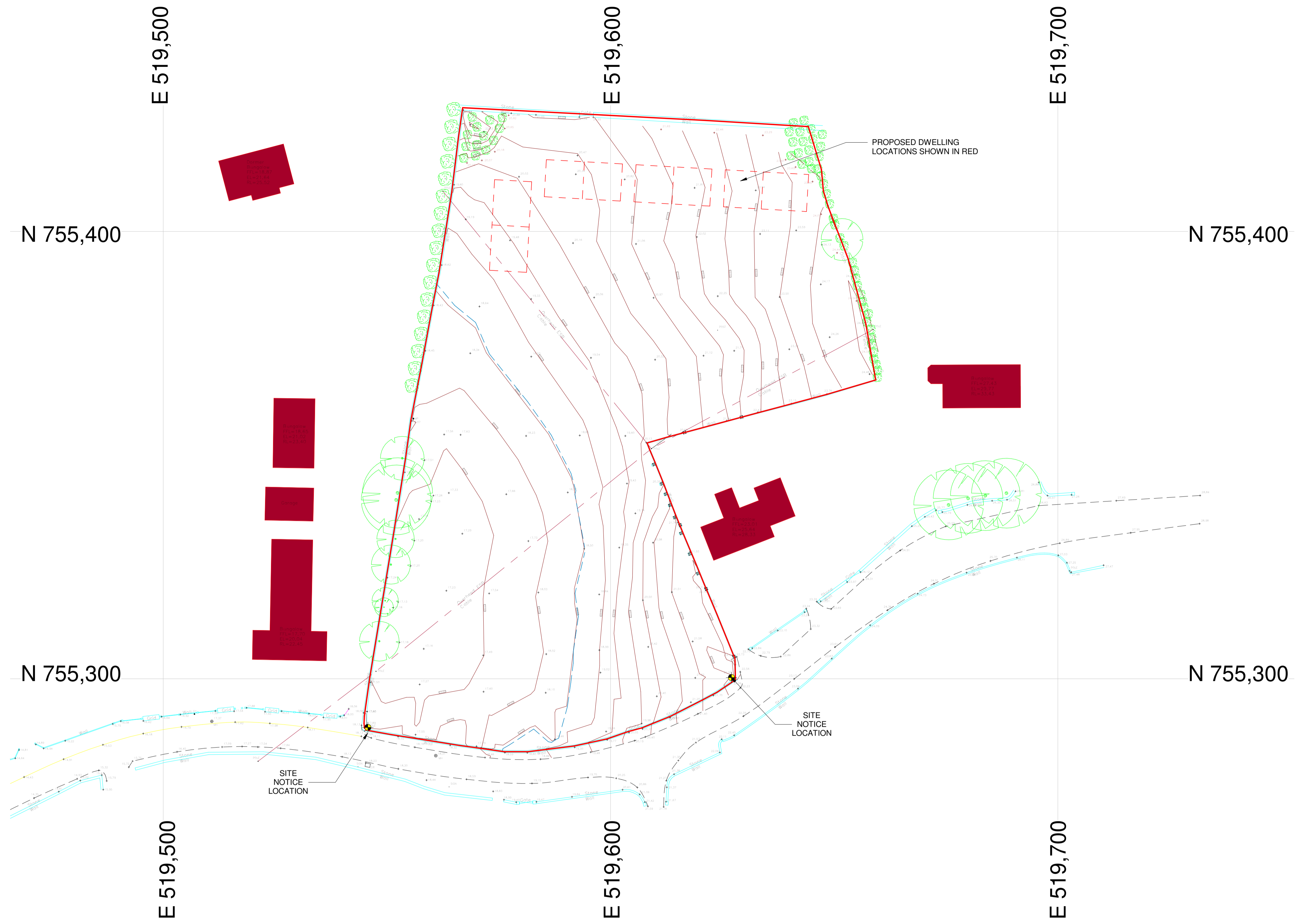


Project No: <b>A_586</b>	Project Title: Housing CROSS WEST, CO. MAYO	Dwg Type: <b>90</b>	Status: <b>A1</b>
Drawing Title: SITE LOCATION MAP		Drawing No. <b>5200</b>	Revision: /
Drawn By: cm/mw	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: As indicated	First Issue: JULY 2021
Checked By: CM	A_586 - MCC - 90 - XX - DR - A - 5200 - A1		<b>MAYO.IE</b>

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PROPOSED DWELLING LOCATIONS SHOWN IN RED

SITE NOTICE LOCATION

SITE NOTICE LOCATION

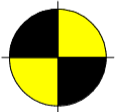
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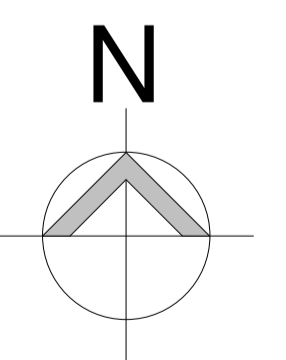
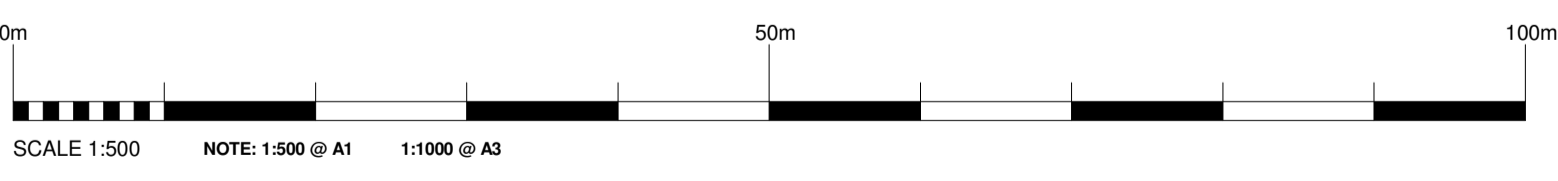
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 LOCATION OF SITE NOTICE



Purpose of Issue: **ABP APPLICATION**

STATUS KEY			
Rev No.	Date	Comment	
P01	31/03/2022	An Board Pleasanele Submission	



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Project No: <b>A_586</b>	Project Title: Housing CROSS WEST, CO. MAYO	Dwg Type: <b>90</b>	Status: <b>A1</b>
Drawing Title: EXISTING SITE SURVEY	Drawing No. <b>SL01</b>	Revision: <b>P01</b>	First Issue: <b>JULY 2021</b>
Drawn By: cm/mw	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: <b>1 : 500</b>	
Checked By: CM	<b>A_586 - MCC - 90 - XX - DR - A - SL01 - A1</b>		



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8 NO UNITS -DENSITY 7.3 PER HA

ENTRANCE VISIBILITY ZONE MEASURED 90M ALONG ROADSIDE CARRIAGEWAY EACH SIDE OF NEW ENTRANCE- (SET BACK 3M). LOCAL ROAD HAS 80KM SPEED LIMIT.

LOCATION OF SITE NOTICE

INDICATES FLOOD RISK ZONE

**MATERIALS: (EXTERNAL)**

**EXTERNAL ROOF FINISH :** PITCHED ROOFS FINISHED IN SLATE BLUE BLACK IN COLOUR

**EXTERNAL WINDOWS & DOORS :** TIMBER ALU CLAD FRAMES WITH HIGHLY EFFICIENT GLAZING (MAX 0.8W/MK) -FINISHED IN SELECTED COLOURS TO DETAIL.

**EXTERNAL WALLS :** GENERALLY MASONRY WITH RENDERED FINISH PAINTED TO SELECTED NEUTRAL COLOUR

**DECORATIVE METAL FINISH:** METAL FINISH WITH STANDING SEAM PROFILE IN NEUTRAL COLOUR TO SELECTED AREAS (DORMER WALL FINISHES AND PORCH CANOPY FASCIAS)

**PROPOSAL:** CONSTRUCTION OF 08 NO. DWELLINGS COMPRISING OF 05 NO. 2 BEDROOMED DORMER SCALE TWO STOREY HOUSES AND 3 NO. 3 BEDROOMED DORMER SCALE TWO STOREY HOUSES IN A SEMI-DETACHED ARRANGEMENT. SCALE, MASSING, ARCHITECTURAL EXPRESSION AND DETAILING ARE DESIGNED TO BE IN KEEPING WITH TRADITIONAL HOUSES OF THE AREA. ACCESS DESIGNED IN COMPLIANCE WITH PART M AND DMURS WITH OFF STREET CAR PARKING AND HOMEZONE. PUBLIC FOOTPATHS NEAR DWELLING STREET FACADES SO THAT STREET IS "ACTIVATED" AND INTERESTING FOR PEDESTRIANS TO ENCOURAGE ACTIVE TRAVEL TO THE LOCAL VILLAGE.

**BOUNDARY TYPE B6 :** PROPOSED SELECTED STONE FACED SCREEN WALL WITH STONE CAPPING ON CONCRETE STRIP FOUNDATION TO ENGINEERS SPECIFICATION AND DETAILS. 2m HIGH TO PRIVATE GARDENS. NEW STONE ROADSIDE WALL & BOUNDARY INFILL WALL HEIGHTS TO MATCH EXISTING.

**BOUNDARY TYPE B8:** PROPOSED TIMBER PALISADE FENCE MIN 2000MM HIGH FOUNDATIONS TO ENGINEERS SPECIFICATION AND DETAILS.

**EXISTING BOUNDARIES:** EXISTING STONE WALL BOUNDARY TO FRONT (SOUTH ROADSIDE) OF SITE TO BE REMOVED. NATURAL STONE TO BE RETAINED FOR RE-USE IN NEW BOUNDARY WALLS. EXISTING STONE WALL BOUNDARIES TO WEST AND NORTH OF SITE TO BE RETAINED. EXISTING BLOCKWORK BOUNDARY WALLS SEPARATING SITE FROM NEIGHBOURING BUNGALOW ON EAST SIDE TO BE RETAINED. EXISTING HEDGEGROW WITH POST & WIRE FENCE ALONG EASTERN BOUNDARY TO BE RETAINED AND REINFORCED WITH NEW PALISADE TIMBER FENCING. EXISTING BLOCKWORK BOUNDARY WALL TO SOUTH EAST CORNER OF SITE TO BE PARTIALLY REMOVED TO ENSURE VISIBILITY AT NEW ENTRANCE. MAKING GOOD AT EXISTING PILLAR IN LINE WITH EASTERN NEIGHBOUR'S ROADSIDE WALL.

**GATE :** PROPOSED TIMBER PEDESTRIAN ACCESS GATE.

EXISTING NATIVE TREES TO BE RETAINED

EXISTING HEDGEGROW TO BE RETAINED

**SURFACE FINISH S1: GRASS:** GRASS SEEDED AREA: GRASS SELECTION & MAINTENANCE TO BE IN COMPLIANCE WITH RECOMMENDATIONS OF "ALL IRELAND POLLINATOR PLAN".

**SURFACE FINISH S2: VEHICULAR ROADWAY:** ASPHALT FINISH ON BASE LAYERS TO STRUCTURAL ENGINEERS SPECIFICATION AND DETAILS. FINISH COLOURS MAY BE VARIED TO SLOW TRAFFIC AT PARKING AREAS SUBJECT TO DETAIL.

**SURFACE FINISH S3: HOME ZONE TURNING AREA:** PERMEABLE PAVED FINISH AS PER S5. DIMENSIONS TO ALLOW TURNING FOR FIRE APPLIANCE AS PER TGD B & SERVICE VEHICLE.

**SURFACE FINISH S4: FOOTPATHS:** IN-SITU CONCRETE FOOTPATH ON BASE LAYERS TO STRUCTURAL ENGINEERS SPECIFICATION AND DETAILS. LESS THAN 1.20 FALLS TO PROVIDE UNIVERSAL ACCESS- WITH LANDINGS AT MAX RISE 500MM INTERVALS.

**SURFACE FINISH S5: PARKING AREAS:** SELECTED PERMEABLE PAVING ON BASE LAYERS TO STRUCTURAL ENGINEERS SPECIFICATION AND DETAILS. MIN 19 NO SPACES (INCLUDES 1 NO ACCESSIBLE AND 8 NO VISITORS)

**SURFACE FINISH S6: PRIVACY -GRAVEL AREAS:** SELECTED NATURAL STONE GRAVEL AGGREGATE ON PROPRIETARY GRAVEL STABILIZER ON GEO-TEXTILE MEMBRANE ON BASE TO STRUCTURAL ENGINEERS SPECIFICATION AND DETAILS.

**SURFACE FINISH S7: ACCESS VERGE:** BUFFER ZONES BETWEEN PARKING AREAS AND PUBLIC FOOTPATHS WITH PROPRIETARY BONDED STONE AGGREGATE SURFACE FINISH TO STRUCTURAL ENGINEERS SPECIFICATION AND DETAILS.

**SURFACE FINISH S8 : PRIVACY PLANTERS:** PLANTERS FORMED TO ENHANCE PRIVACY TO FRONTS OF NEW DWELLINGS.

**SURFACE FINISH S9 : TRAFFIC CALMING:** PAVED FINISH AS PER S5 ABOVE - TRAFFIC CALMING PROFILE TO STRUCTURAL ENGINEERS DETAIL.

**NEW OPEN SPACE TREE** "ALL IRELAND POLLINATOR PLAN" FRIENDLY SPECIES

**NEW ORNAMENTAL STREET TREE** "ALL IRELAND POLLINATOR PLAN" FRIENDLY SPECIES

**NEW NATIVE HEDGEGROW** "ALL IRELAND POLLINATOR PLAN" FRIENDLY SPECIES

**NEW SHRUB PLANTING** "ALL IRELAND POLLINATOR PLAN" FRIENDLY SPECIES

(90) 3 BED (6 PERSON) DORMER SCALE HOUSE TYPE SCHEDULE		
HOUSE TYPE COMMENT	UNIT NUMBER	
DORMER-3B (6P) GABLE-ENTRANCE	UNIT 01	
DORMER-3B (6P) HANDED	UNIT 02	
DORMER-3B (6P)	UNIT 08	
3 BED DORMER HOUSE TYPE TOTAL: 3		

(90) 2 BED (4 PERSON) DORMER SCALE HOUSE TYPE SCHEDULE		
HOUSE TYPE COMMENT	UNIT NUMBER	
DORMER-2B (4P) HANDED	UNIT 03	
DORMER-2B (4P)	UNIT 04	
DORMER-2B (4P) HANDED	UNIT 05	
DORMER-2B (4P)	UNIT 06	
DORMER-2B (4P) HANDED	UNIT 07	
2 BED DORMER HOUSE TYPE TOTAL: 5		

TOTAL SITE AREA (m <sup>2</sup> )	10983 APPROX
AREA OF OPEN GREEN SPACE (m <sup>2</sup> )	6196 APPROX
% OF SITE OPEN GREEN SPACE	56% (MIN 15%)

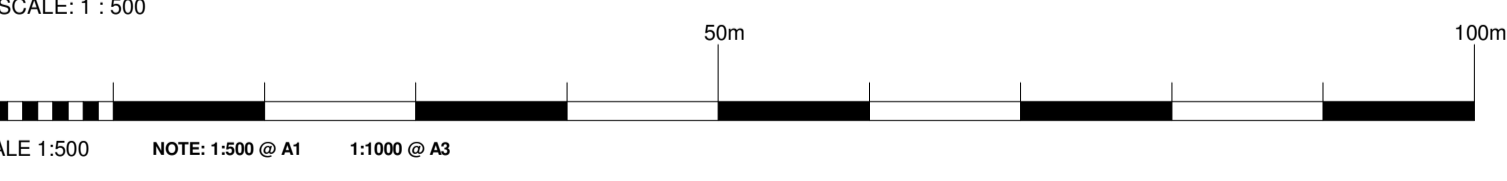
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**SITE LAYOUT PLAN-OVERVIEW**



**LEVELS-BOUNDARY-TREATMENTS PLAN-OVERVIEW**



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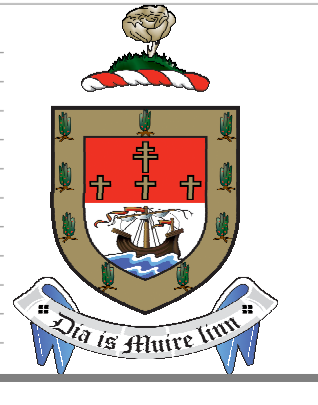
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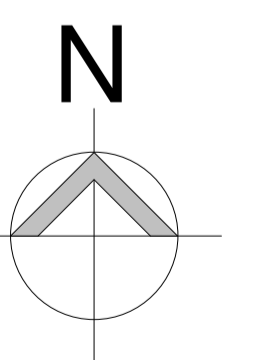
STATUS KEY	Rev No.	Date	Comment
SHARED - FOR INFORMATION			
S1	P01	31/03/2022	An Board Plaeanaile Submission
S2			
S3			
S4			
S5			
S6			
S7			
S8			
S9			
S10			
PUBLISHED			
A1			
A2			
A3			



ARCHITECTS DEPARTMENT  
MAYO COUNTY COUNCIL



Purpose of Issue: <b>ABP APPLICATION</b>		Dwg Type: <b>90</b>	Status: <b>A1</b>
Project No: <b>A_586</b>	Project Title: <b>Housing CROSS WEST, CO. MAYO</b>	Drawing No. <b>5201</b>	Revision: <b>P01</b>
Drawing Title: <b>SITE LAYOUT PLAN -LEVELS-BOUNDARY TREATMENTS-OVERVIEW</b>	Scale: <b>1:500</b>	First Issue: <b>JULY 2021</b>	
Drawn By: <b>cm/mw</b>	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Checked By: <b>CM</b>	<b>A_586 - MCC - 90 - XX - DR - A - 5201 - A1</b>





(90) 2 BED (4 PERSON) DORMER SCALE HOUSE TYPE SCHEDULE	
HOUSE TYPE COMMENT	UNIT NUMBER
DORMER-2B (4P) HANDED	UNIT 03
DORMER-2B (4P)	UNIT 04
DORMER-2B (4P) HANDED	UNIT 05
DORMER-2B (4P)	UNIT 06
DORMER-2B (4P) HANDED	UNIT 07
2 BED DORMER HOUSE TYPE TOTAL: 5	

(90) 3 BED (6 PERSON) DORMER SCALE HOUSE TYPE SCHEDULE	
HOUSE TYPE COMMENT	UNIT NUMBER
DORMER-3B (6P) GABLE-ENTRANCE	UNIT 01
DORMER-3B (6P) HANDED	UNIT 02
DORMER-3B (6P)	UNIT 08
3 BED DORMER HOUSE TYPE TOTAL: 3	

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**SURFACE FINISH S3: HOME ZONE TURNING AREA:** PERMEABLE PAVED FINISH AS PER S5. DIMENSIONS TO ALLOW TURNING FOR FIRE APPLIANCE AS PER TGD B & SERVICE VEHICLE.

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**SURFACE FINISH S7: ACCESS VERGE:** BUFFER ZONES BETWEEN VEHICULAR AREAS AND PUBLIC FOOTPATHS WITH PROPRIETARY BONDED STONE AGGREGATE SURFACE FINISH TO STRUCTURAL ENGINEERS SPECIFICATION AND DETAILS.

**SURFACE FINISH S8 : PRIVACY PLANTERS:** PLANTERS FORMED TO ENHANCE PRIVACY TO FRONTS OF NEW DWELLINGS.

**SURFACE FINISH S9 : TRAFFIC CALMING:** PAVED FINISH AS PER S5 ABOVE - TRAFFIC CALMING PROFILE TO STRUCTURAL ENGINEER'S DETAIL.

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**GATE :** PROPOSED TIMBER PEDESTRIAN ACCESS GATE.

EXISTING NATIVE TREES TO BE RETAINED

EXISTING HEDGEROW TO BE RETAINED

**NEW OPEN SPACE TREES:** COMBINATION OF IRISH GROWN SPECIES SUCH AS BIRCH-BETULA SPF/ ALDER -ALNUS GLUTINOSA / OAK-QUERCUS SPF. GENERALLY INTERPLANTED WITH MIX OF SELECTED POLLINATOR SPECIES SUCH AS HORSE CHESTNUT -AESULUS HIPPCASTANUM/ JUNE BERRY -AMELANCHIER SPECIES/ HAWTHORN -CRATAEGUS SPECIES/ APPLE-MULUS SPECIES/ FOXGLOVE TREE-PALUDOSIA TOMENTOSA/ WILD CHERRY-PRUNUS AVIUM/ BIRD CHERRY-PRUNUS PADUS/ JAPANESE FLOWERING CHERRY-PRUNUS SERIALATA/ TIA HAKU/ PEAR-PYRUS SPECIES/ ROWANSORBUS SPECIES/ WILLOW-SALIX SPECIES/ LIME-TILIA SPECIES. FINAL DETAILS OF SPECIES AND MIXES TO BE CONFIRMED BY LANDSCAPE SPECIALIST IN FULL COMPLIANCE WITH ALL IRELAND POLLINATOR PLAN 2021-2025

**NEW ORNAMENTAL STREET TREES:** COMBINATION OF IRISH GROWN NATIVE SPECIES SUCH AS JUNE BERRY TREE-AMELANCHIER X GRANDIFLORA / ROBIN HILLY UPRIGHT HAWTHORN -CRATAEGUS MONOGYNA / STRICTA/ PILLAR CRAB -MALUS TSONHONKII/ CARRERY PEAR -PYRUS AGLERYANA / CHANTICLEER/ ROWAN-SORBUS ACUPARIA VARIETIES / LIME -TILIA CORDATA / GREENSPIRE/ TILIA X EUROAEA EUCHLORA. FINAL DETAILS OF SPECIES AND MIXES TO BE CONFIRMED BY LANDSCAPE SPECIALIST IN FULL COMPLIANCE WITH ALL IRELAND POLLINATOR PLAN 2021-2025

**NEW NATIVE HEDGEROW:** COMBINATION OF IRISH GROWN NATIVE SPECIES SUCH AS HAWTHORN -CRATAEGUS SPECIES (APPROX 75%) WITH APPROX 25% MIX OF OTHER SPECIES SUCH AS WILLOW, BLACKTHORN, HAZEL, HOLLY, DOG ROSE, BROOM/ WILD CHERRY/ CRAB APPLE/ HONEY SUCKLE/ WILD ROSE/ WILD RASBERRY/ WHIN & GELDER. FINAL DETAILS OF SPECIES AND MIXES TO BE CONFIRMED BY LANDSCAPE SPECIALIST IN FULL COMPLIANCE WITH ALL IRELAND POLLINATOR PLAN 2021-2025

**NEW SHRUB PLANTING:** COMBINATION OF IRISH GROWN NATIVE SPECIES SUCH AS STRAWBERRY TREE-ARBITUS UNEDO/ EBBSINGES SILVERBERRY-ELAEAGNUS X EBBAEUS/ SILVERTHORN-ELAEAGNUS SPUNGENS/ PURPOSE HONEYSUCKLE-LONICERAXPURPUSII/ LAUSTINUS-VIBURNUM TINUS/ BLACKCURRANT-RIBES NIGRUM/ REDCURRANT-RIBES RUBRUM/ BLUEBERRY-VACCINIUM CORYMOSUM.FINAL DETAILS OF SPECIES AND MIXES TO BE CONFIRMED BY LANDSCAPE SPECIALIST IN FULL COMPLIANCE WITH ALL IRELAND POLLINATOR PLAN 2021-2025

**EXISTING BOUNDARIES:** EXISTING STONE WALL BOUNDARY TO FRONT (SOUTH ROADSIDE) OF SITE TO BE REMOVED-NATURAL STONE TO BE RETAINED FOR RE-USE IN NEW BOUNDARY WALLS. EXISTING STONE WALL BOUNDARIES TO WEST AND NORTH OF SITE TO BE RETAINED. EXISTING BLOCKWORK BOUNDARY WALLS SEPARATING SITE FROM NEIGHBOURING BUNGALOW ON EAST SIDE TO BE RETAINED. EXISTING HEDGEROW WITH POST & WIRE FENCE ALONG EASTERN BOUNDARY TO BE RETAINED AND REINFORCED WITH NEW PALISADE TIMBER FENCING. EXISTING BLOCKWORK BOUNDARY WALL TO SOUTH EAST CORNER OF SITE TO BE PARTIALLY REMOVED TO ENSURE VISIBILITY AT NEW ENTRANCE- MAKING GOOD AT EXISTING PILLAR IN LINE WITH EASTERN NEIGHBOUR'S ROADSIDE WALL.

SITE OUTLINED IN RED- 1.09 HECTARES  
 ITM Co-ordinates = 519600,755350  
 ING Co-ordinates=119631, 255327

08 NO UNITS - DENSITY 7.3 PER HA  
 PERCENTAGE GREEN AREA = 27%

THE SITE IS LOCATED ON THE L1614 NEAR TO CROSS NATIONAL SCHOOL

ACCESS TO THE COMPLETED DEVELOPMENT TO BE VIA THE L1614 APPROX 250 METERS FROM THE JUNCTION WITH THE R334

**PROPOSED SITE LEVELS-BOUNDARY TREATMENTS-DETAIL**  
 SCALE:1 : 250

STATUS KEY	Rev No.	Date	Comment
SHARED - FOR INFORMATION	P01	31/03/2022	An Board Plaeanale Submission
S0			WORK IN PROGRESS
S1			COORDINATION
S2			INFORMATION
S3			REVISION/ COMMENT
S4			CUSTOMER APPROVAL
S5			COSTING
S6			TENDER
S7			CONTRACTOR DESIGN
PUBLISHED			
A1			PPS / FSCD DAC
A2			CONSTRUCTION
AB			AS BUILT



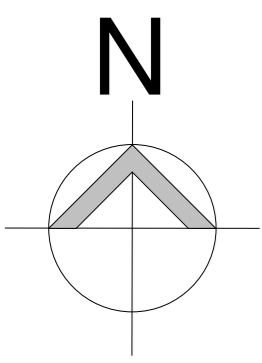
# ARCHITECTS DEPARTMENT

## MAYO COUNTY COUNCIL



Purpose of Issue: **ABP APPLICATION**

Project No: <b>A 586</b>	Project Title: Housing CROSS WEST, CO. MAYO	Dwg Type: <b>90</b>	Status: <b>A1</b>
Drawing Title: SITE LAYOUT PLAN -LEVELS-BOUNDARY TREATMENTS-DETAIL	Drawing No. <b>5202</b>	Revision: <b>P01</b>	
Drawn By: cm/mw	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale:	First Issue: JULY 2021
Checked By: CM	A_586 - MCC - 90 - XX - DR - A - 5202 - A1	As indicated	

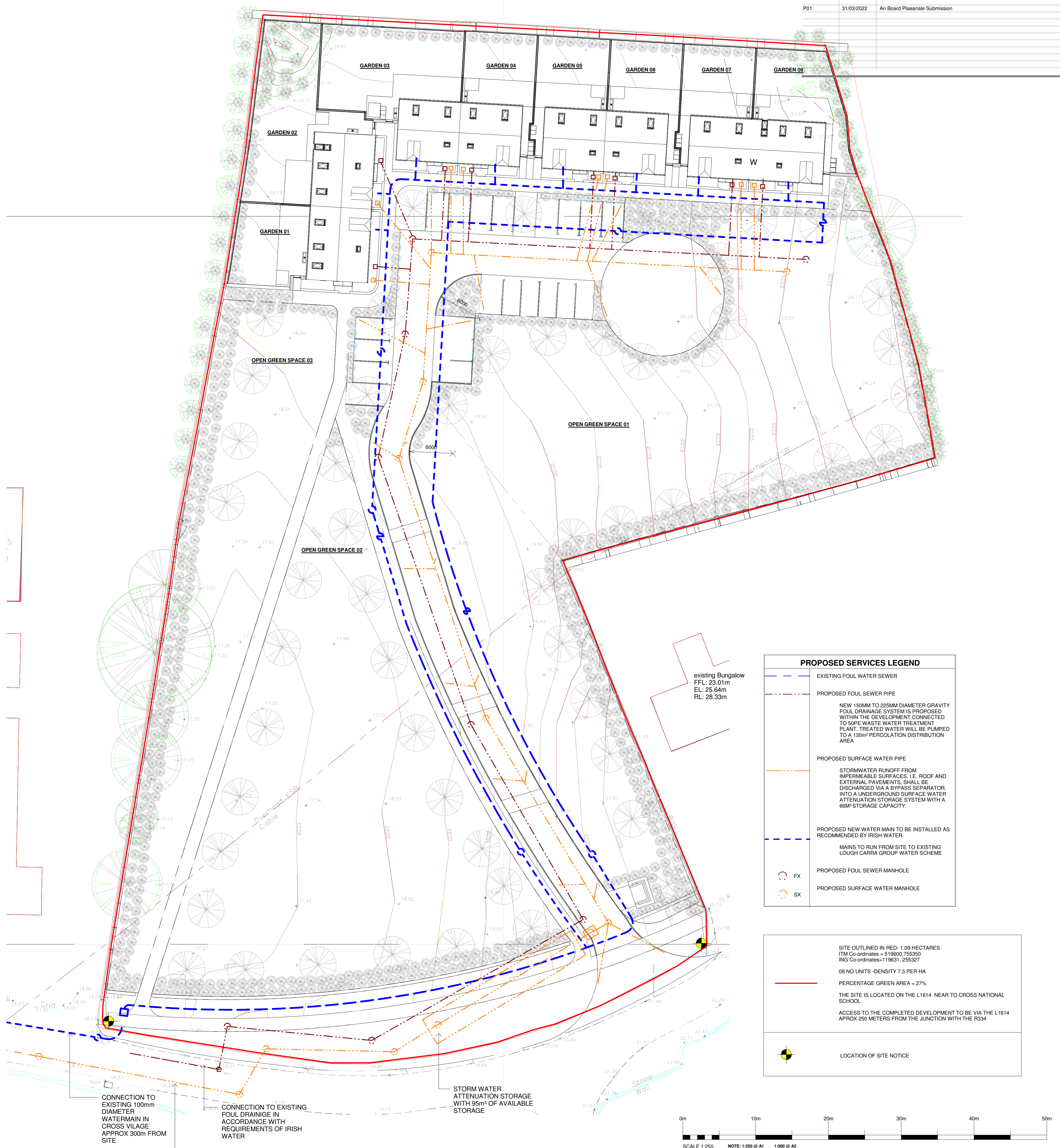


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Do not scale this drawing. Use written dimensions only

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Rev No.	Date	Comment
P01	31/03/2022	An Board Pleanála Submission



PROPOSED SERVICES LEGEND	
	EXISTING FOUL WATER SEWER
	PROPOSED FOUL SEWER PIPE
	PROPOSED SURFACE WATER PIPE
	PROPOSED NEW WATER MAIN TO BE INSTALLED AS RECOMMENDED BY IRISH WATER.
	PROPOSED FOUL SEWER MANHOLE
	PROPOSED SURFACE WATER MANHOLE

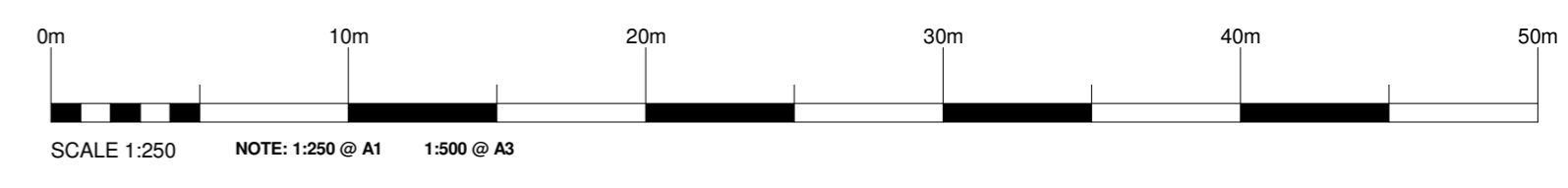
SITE OUTLINED IN RED: 1.08 HECTARES  
 ITM Co-ordinates = 519800,755350  
 ING Co-ordinates=119631, 255327

08 NO UNITS - DENSITY 7.3 PER HA  
 PERCENTAGE GREEN AREA = 27%

THE SITE IS LOCATED ON THE L1614 NEAR TO CROSS NATIONAL SCHOOL

ACCESS TO THE COMPLETED DEVELOPMENT TO BE VIA THE L1614 APPROX 250 METERS FROM THE JUNCTION WITH THE R334

LOCATION OF SITE NOTICE



**PROPOSED SITE SERVICES LAYOUT**  
 SCALE: 1:250

STATUS KEY	
SHADER / FOR INFORMATION	
S0	WORK IN PROGRESS
S1	COORDINATION
S2	INFORMATION
S3	REVIEW / COMMENT
S4	CONSENT APPROVAL
S5	COSTING
S6	TENDER
S7	CONTRACTOR DESIGN
PUBLISHED	
A1	PF / FSC / DAC
A2	CONSTRUCTION
A3	AS BUILT



ARCHITECTS DEPARTMENT  
 MAYO COUNTY COUNCIL



Purpose of Issue: <b>ABP APPLICATION</b>		Dwg Type: <b>90</b>	Status: <b>A1</b>
Project No: <b>A_586</b>	Project Title: <b>Housing CROSS WEST, CO. MAYO</b>	Drawing No. <b>5206</b>	Revision: <b>P01</b>
Drawn By: cm/mw	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: <b>As indicated</b>	First Issue: <b>JULY 2021</b>
Checked By: CM	<b>A_586 - MCC - 90 - XX - DR - A - 5206 - A1</b>		

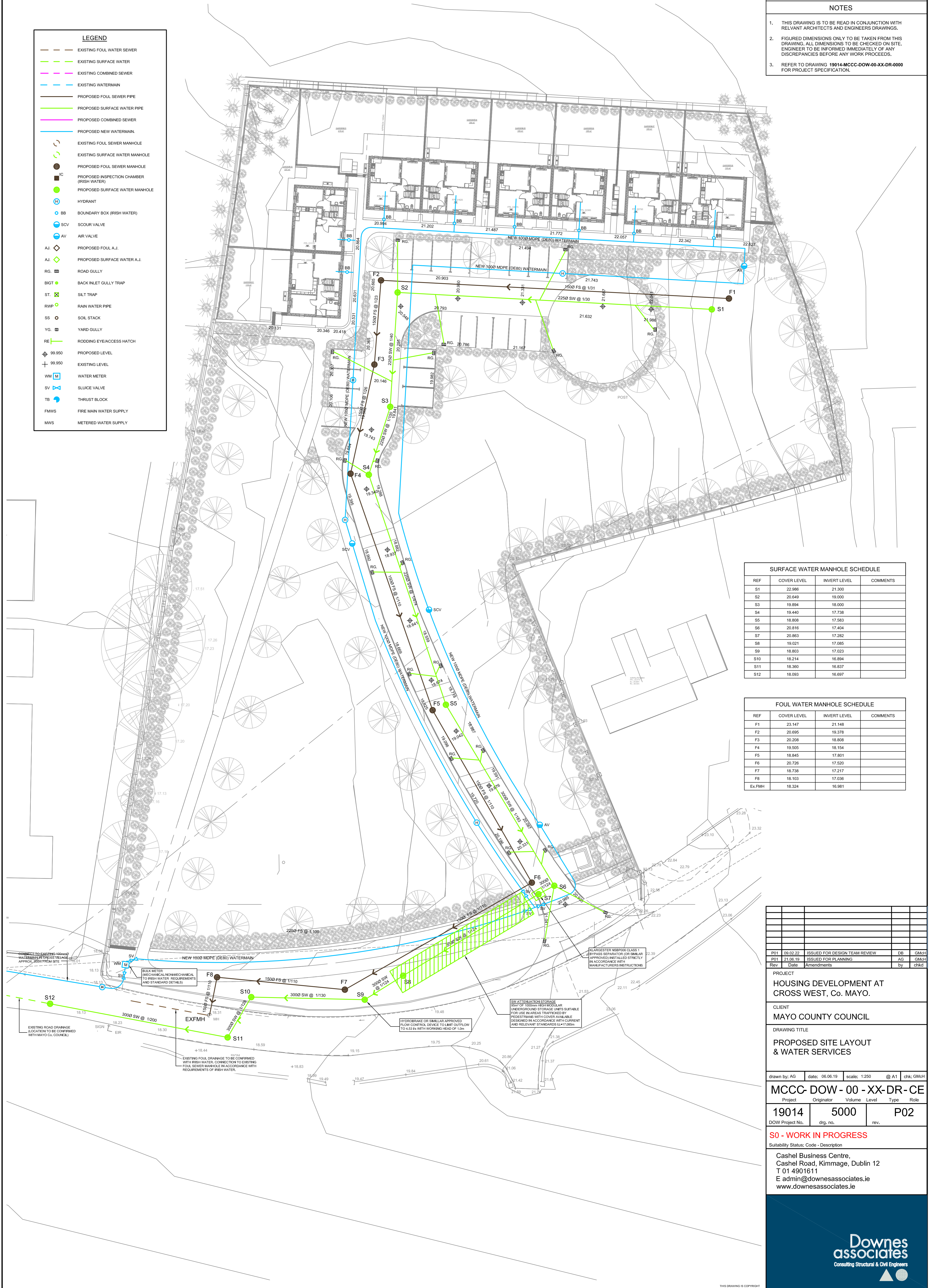


NOTES

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS.
- FIGURED DIMENSIONS ONLY TO BE TAKEN FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE. ENGINEER TO BE INFORMED IMMEDIATELY OF ANY DISCREPANCIES BEFORE ANY WORK PROCEEDS.
- REFER TO DRAWING 19014-MCC-DOW-00-XX-DR-0000 FOR PROJECT SPECIFICATION.

LEGEND

- EXISTING FOUL SEWER
- EXISTING SURFACE WATER
- EXISTING COMBINED SEWER
- EXISTING WATERMAIN
- PROPOSED FOUL SEWER PIPE
- PROPOSED SURFACE WATER PIPE
- PROPOSED COMBINED SEWER
- PROPOSED NEW WATERMAIN
- EXISTING FOUL SEWER MANHOLE
- EXISTING SURFACE WATER MANHOLE
- PROPOSED FOUL SEWER MANHOLE
- PROPOSED INSPECTION CHAMBER (IRISH WATER)
- PROPOSED SURFACE WATER MANHOLE
- HYDRANT
- BOUNDARY BOX (IRISH WATER)
- SCOUR VALVE
- AIR VALVE
- PROPOSED FOUL A.J.
- PROPOSED SURFACE WATER A.J.
- ROAD GULLY
- BACK INLET GULLY TRAP
- SILT TRAP
- RAIN WATER PIPE
- SOIL STACK
- YARD GULLY
- RODDING EYE/ACCESS HATCH
- PROPOSED LEVEL
- EXISTING LEVEL
- WATER METER
- SLUICE VALVE
- THRUST BLOCK
- FIRE MAIN WATER SUPPLY
- METERED WATER SUPPLY



REF	COVER LEVEL	INVERT LEVEL	COMMENTS
S1	22.986	21.300	
S2	20.649	19.000	
S3	19.894	18.000	
S4	19.440	17.738	
S5	18.808	17.583	
S6	20.816	17.404	
S7	20.863	17.282	
S8	19.021	17.085	
S9	18.803	17.023	
S10	18.214	16.894	
S11	18.360	16.837	
S12	18.093	16.697	

REF	COVER LEVEL	INVERT LEVEL	COMMENTS
F1	23.147	21.148	
F2	20.695	19.376	
F3	20.208	18.808	
F4	19.505	18.154	
F5	18.845	17.801	
F6	20.726	17.520	
F7	18.738	17.217	
F8	18.103	17.036	
Ex FMH	18.324	16.981	

Rev	Date	Amendments	AG	GMCH
P01	09.02.22	ISSUED FOR DESIGN TEAM REVIEW	DB	GMCH
P01	21.06.19	ISSUED FOR PLANNING	AG	GMCH

PROJECT  
**HOUSING DEVELOPMENT AT CROSS WEST, Co. MAYO.**

CLIENT  
**MAYO COUNTY COUNCIL**

DRAWING TITLE  
**PROPOSED SITE LAYOUT & WATER SERVICES**

drawn by: AG	date: 06.06.19	scale: 1:250	@ A1	chk: GMCH
<b>MCC-DOW - 00 - XX-DR - CE</b>				
Project	Originator	Volume	Level	Type
19014	5000			P02
DOW Project No.	drg. no.	rev.		

**S0 - WORK IN PROGRESS**

Suitability Status: Code - Description

Cashel Business Centre,  
 Cashel Road, Kimmage, Dublin 12  
 T 01 4901611  
 E admin@downesassociates.ie  
 www.downesassociates.ie





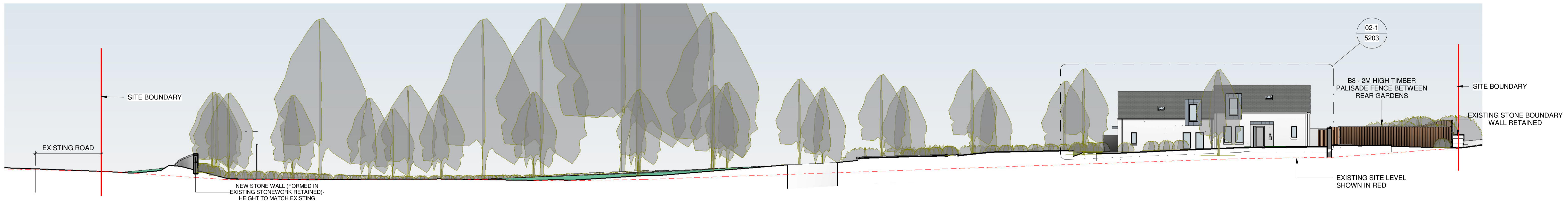
**STREET ELEVATION-FACING UNITS 01 TO 08- OVERVIEW**  
SCALE: 1 : 200

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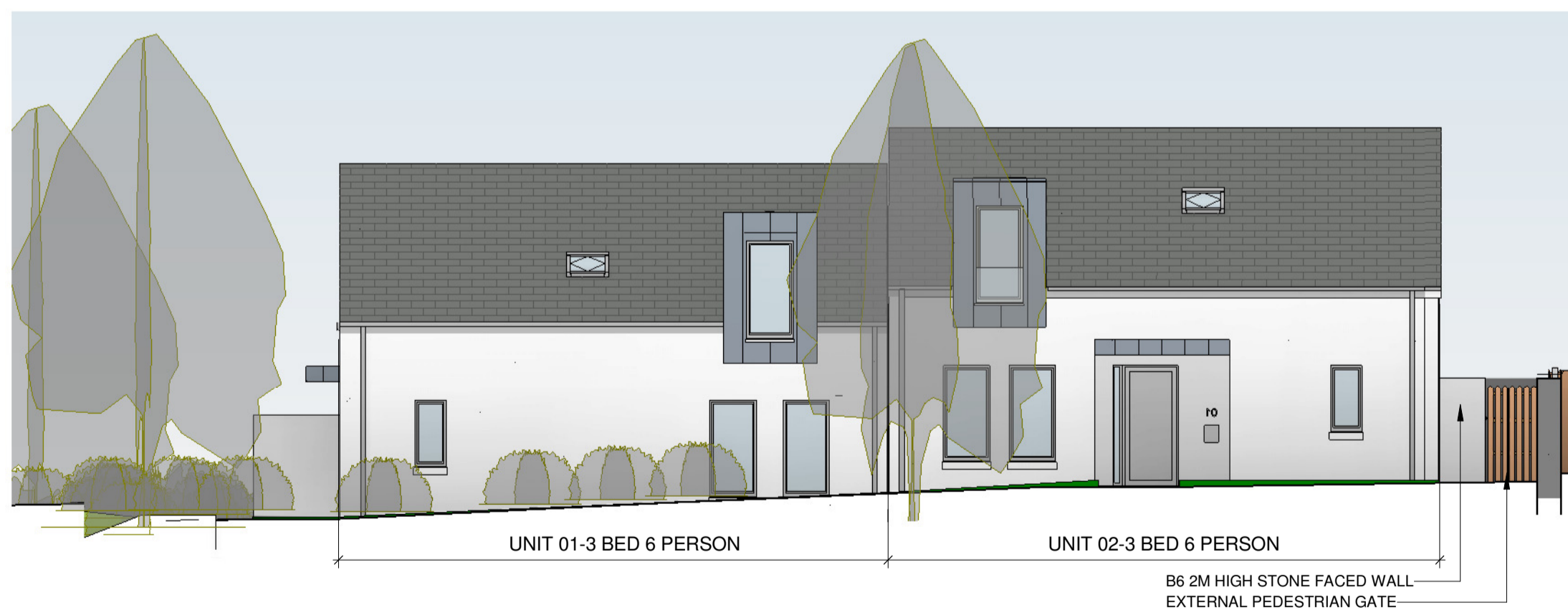
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**STREET ELEVATION-FACING UNITS 01 TO 08- DETAIL**  
SCALE: 1 : 100



**STREET ELEVATION- FACING UNITS 01-02-OVERVIEW**  
SCALE: 1 : 200

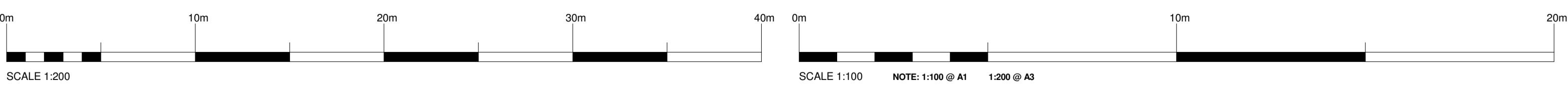


**STREET ELEVATION- FACING UNITS 01-02-DETAIL**  
SCALE: 1 : 100

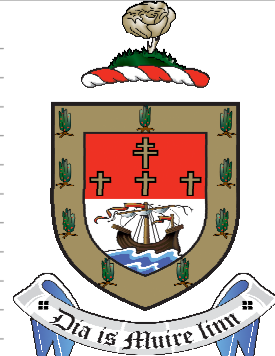
<b>PROPOSAL:</b>	CONSTRUCTION OF 08 NO. DWELLINGS COMPRISING OF 05 NO. 2 BEDROOMED DORMER SCALE TWO STOREY HOUSES AND 3 NO. 3 BEDROOMED DORMER SCALE TWO STOREY HOUSES IN A SEMI-DETACHED ARRANGEMENT. SCALE, MASSING, ARCHITECTURAL EXPRESSION AND DETAILING ARE DESIGNED TO BE IN KEEPING WITH TRADITIONAL HOUSES OF THE AREA. ACCESS DESIGNED IN COMPLIANCE WITH PART M AND DMURS WITH OFF STREET CAR PARKING AND HOMEZONE. PUBLIC FOOTPATHS NEAR DWELLING STREET FACADES SO THAT STREET IS "ACTIVATED" AND INTERESTING FOR PEDESTRIANS TO ENCOURAGE ACTIVE TRAVEL TO THE LOCAL VILLAGE.
<b>MATERIALS: (EXTERNAL)</b>	<p><b>EXTERNAL ROOF FINISH</b> : PITCHED ROOFS FINISHED WITH SLATE BLUE BLACK IN COLOUR.</p> <p><b>EXTERNAL WINDOWS &amp; DOORS</b> : TIMBER ALU CLAD FRAMES WITH HIGHLY EFFICIENT GLAZING (MAX 0.8W/MK) - FINISHED IN SELECTED COLOURS TO DETAIL.</p> <p><b>EXTERNAL WALLS</b> : GENERALLY MASONRY WITH RENDERED FINISH PAINTED TO SELECTED NEUTRAL COLOUR</p> <p><b>DORMER WINDOW</b> : SELECTED GREY STANDING SEAM FINISH TO FEATURE DORMER WINDOW AND PORCH CANOP</p> <p>FASCIA &amp; SOFFIT TO MATCH RAINWATER PRODUCTS.</p> <p>PRE-CAST CONCRETE CILLS TO WINDOWS</p> <p>CONCRETE FOOTPATHS TO PERIMETER-BRUSH FINISH</p> <p>FLUSH DOOR THRESHOLD TO FRONT DOOR, WITH DRAINAGE CHANNEL TO ENTRANCE</p>

Purpose of Issue: **ABP APPLICATION**

Project No: <b>A_586</b>	Project Title: Housing CROSS WEST, CO. MAYO	Dwg Type: <b>90</b>	Status: <b>A1</b>
Drawing Title: PROPOSED SITE ELEVATIONS		Drawing No. <b>5203</b>	Revision: <b>P01</b>
Drawn By: cm/mw	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: As indicated	First Issue: JULY 2021
Checked By: CM	A_586 - MCC - 90 - XX - DR - A - 5203 - A1		



STATUS KEY	Rev No.	Date	Comment
SHARED - FOR INFORMATION	P01	31/03/2022	An Board Pleaenale Submission
S0			WORK IN PROGRESS
S1			COORDINATION
S2			INFORMATION
S3			REVIEW / COMMENT
S4			CLIENT APPROVAL
S5			COSTING
S6			TENDER
S7			CONTRACTOR DESIGN
PUBLISHED			
A1			IFB / FISC / DAC
A2			CONSTRUCTION
AB			AS BUILT



ARCHITECTS DEPARTMENT  
MAYO COUNTY COUNCIL







**SITE SECTION A-THRU UNIT 01 FACING NORTH**

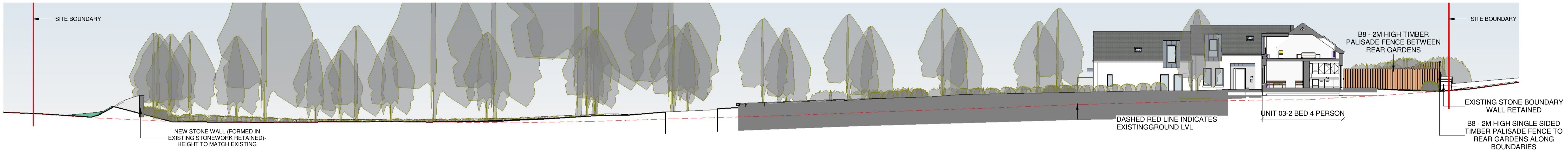
SCALE: 1 : 200

<b>PROPOSAL:</b>	CONSTRUCTION OF 08 NO. DWELLINGS COMPRISING OF 05 NO. 2 BEDROOMED DORMER SCALE TWO STOREY HOUSES AND 3 NO. 3 BEDROOMED DORMER SCALE TWO STOREY HOUSES IN A SEMI-DETACHED ARRANGEMENT. SCALE, MASSING, ARCHITECTURAL EXPRESSION AND DETAILING ARE DESIGNED TO BE IN KEEPING WITH TRADITIONAL HOUSES OF THE AREA. ACCESS DESIGNED IN COMPLIANCE WITH PART M AND DMURS WITH OFF STREET CAR PARKING AND HOMEZONE. PUBLIC FOOTPATHS NEAR DWELLING STREET FACADES SO THAT STREET IS "ACTIVATED" AND INTERESTING FOR PEDESTRIANS TO ENCOURAGE ACTIVE TRAVEL TO THE LOCAL VILLAGE.
<b>MATERIALS: (EXTERNAL)</b>	<p><b>EXTERNAL ROOF FINISH:</b> PITCHED ROOFS FINISHED WITH SLATE BLUE BLACK IN COLOUR.</p> <p><b>EXTERNAL WINDOWS &amp; DOORS:</b> TIMBER ALU CLAD FRAMES WITH HIGHLY EFFICIENT GLAZING (MAX 0.8W/M<sup>2</sup>K) - FINISHED IN SELECTED COLOURS TO DETAIL.</p> <p><b>EXTERNAL WALLS:</b> GENERALLY MASONRY WITH RENDERED FINISH PAINTED TO SELECTED NEUTRAL COLOUR.</p> <p><b>DORMER WINDOW:</b> SELECTED GREY STANDING SEAM FINISH TO FEATURE DORMER WINDOW AND PORCH CANOP.</p> <p>FASCIA &amp; SOFFIT TO MATCH RAINWATER PRODUCTS.</p> <p>PRE-CAST CONCRETE CILLS TO WINDOWS</p> <p>CONCRETE FOOTPATHS TO PERIMETER-BRUSH FINISH</p> <p>FLUSH DOOR THRESHOLD TO FRONT DOOR, WITH DRAINAGE CHANNEL TO ENTRANCE</p>

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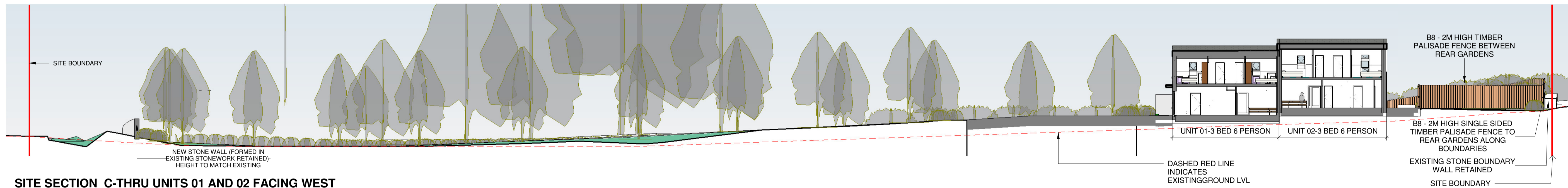
Do not scale this drawing. Use written dimensions only

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**SITE SECTION B-THRU UNIT 3 -FACING WEST**

SCALE: 1 : 200



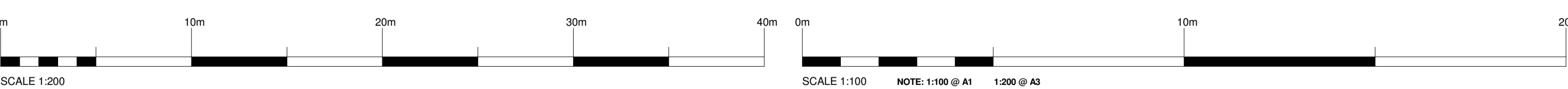
**SITE SECTION C-THRU UNITS 01 AND 02 FACING WEST**

SCALE: 1 : 200



**SITE SECTION D- THRU ENTRANCE ROADWAY FACING NORTH EAST**

SCALE: 1 : 200



STATUS KEY			
Rev No.	Date	Comment	
P01	31/03/2022	An Board Pleasanele Submission	



ARCHITECTS DEPARTMENT  
MAYO COUNTY COUNCIL

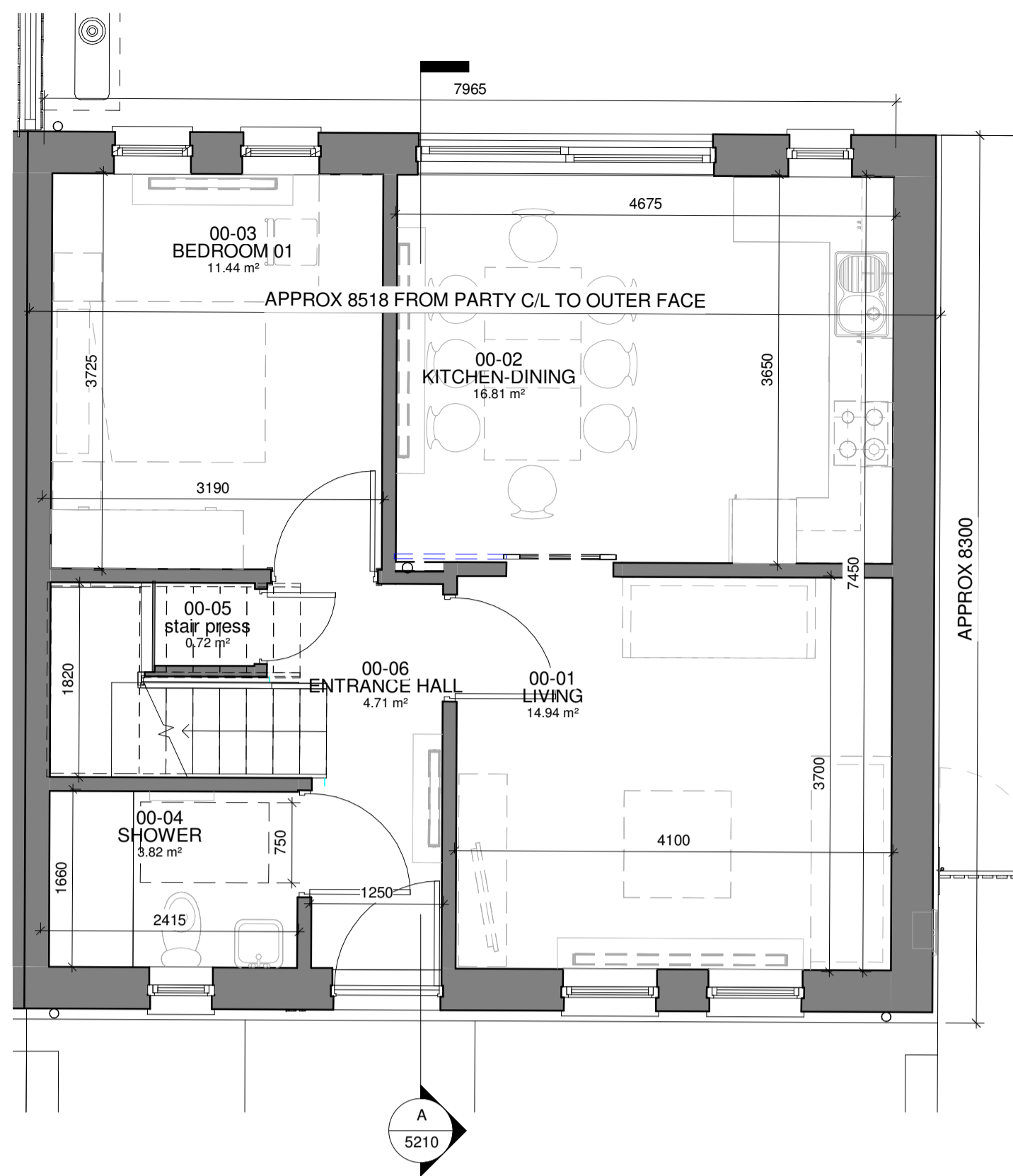


Purpose of Issue: <b>ABP APPLICATION</b>		Dwg Type: <b>90</b>	Status: <b>A1</b>
Project No: <b>A_586</b>	Project Title: <b>Housing CROSS WEST, CO. MAYO</b>	Drawing No. <b>5204</b>	Revision: <b>P01</b>
Drawing Title: <b>PROPOSED SITE SECTIONS</b>	Scale: <b>1 : 200</b>	First Issue: <b>JULY 2021</b>	
Drawn By: <b>cm/mw</b>	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Checked By: <b>CM</b>	<b>A_586 - MCC - 90 - XX - DR - A - 5204 - A1</b>

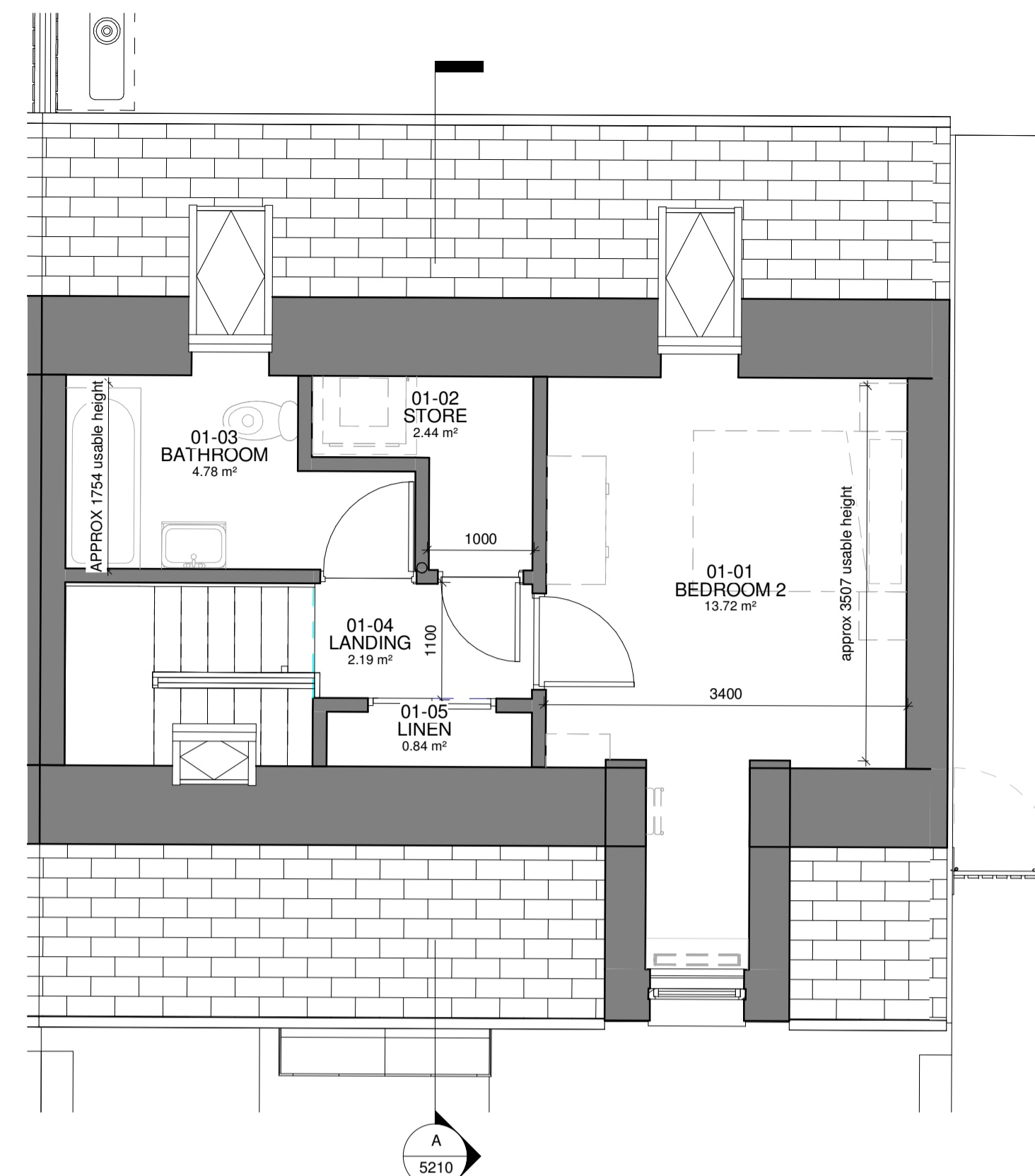


Do not scale this drawing. Use written dimensions only

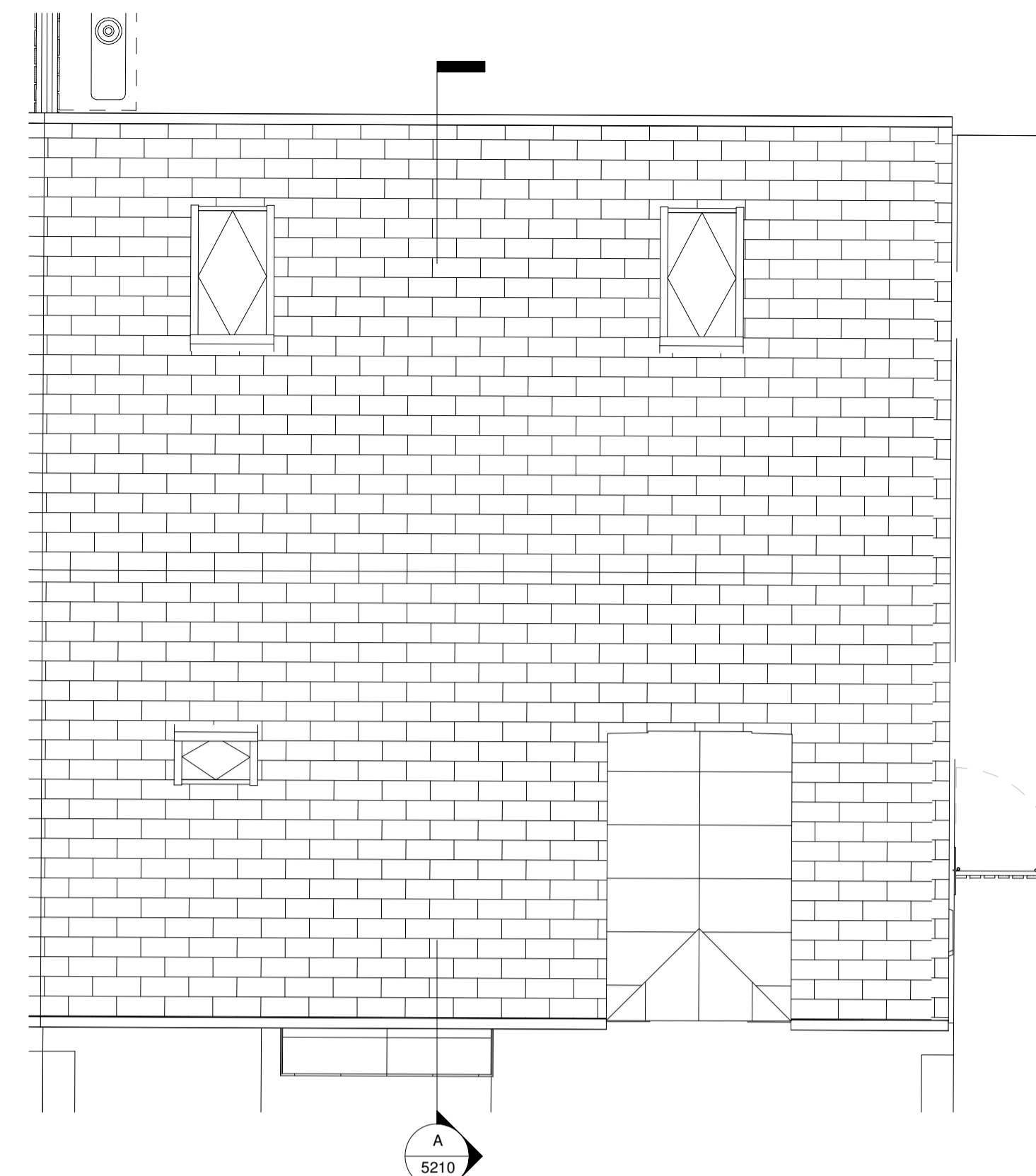
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**D-2B-4P-GROUND FLOOR PLAN**  
SCALE: 1 : 50



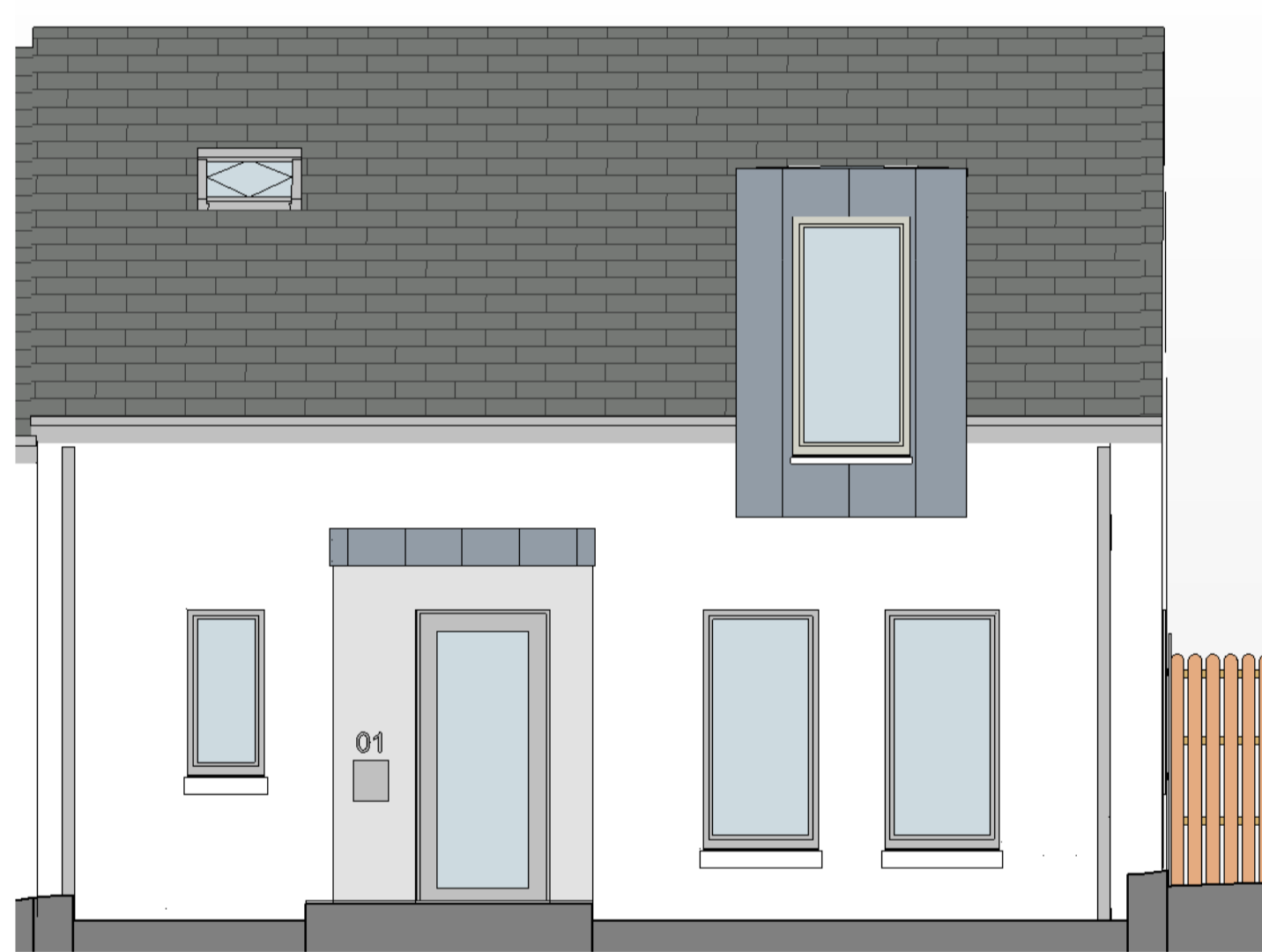
**D-2B-4P-FIRST FLOOR PLAN**  
SCALE: 1 : 50



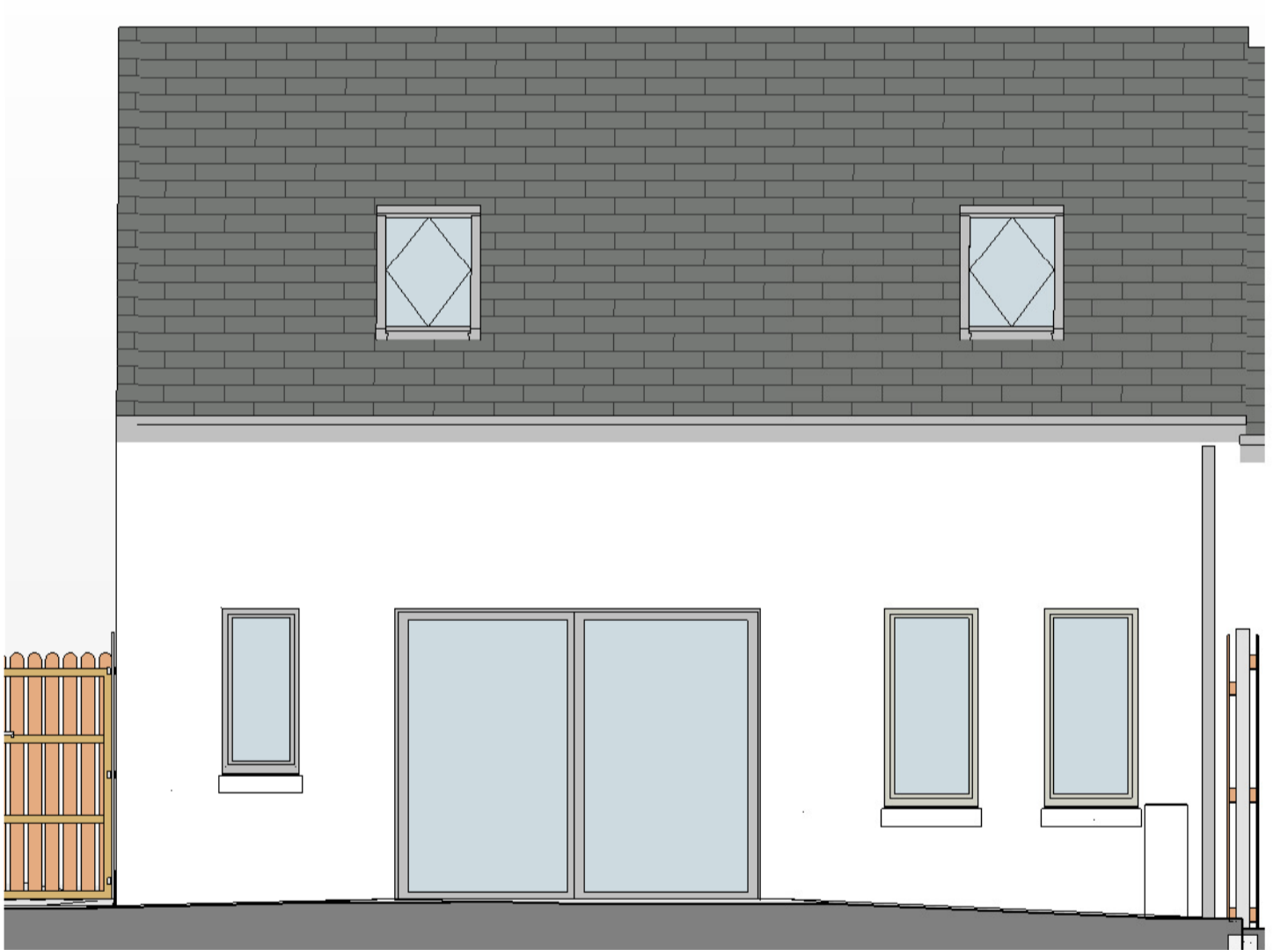
**D-2B-4P-ROOF PLAN**  
SCALE: 1 : 50

**MATERIALS: (EXTERNAL)**

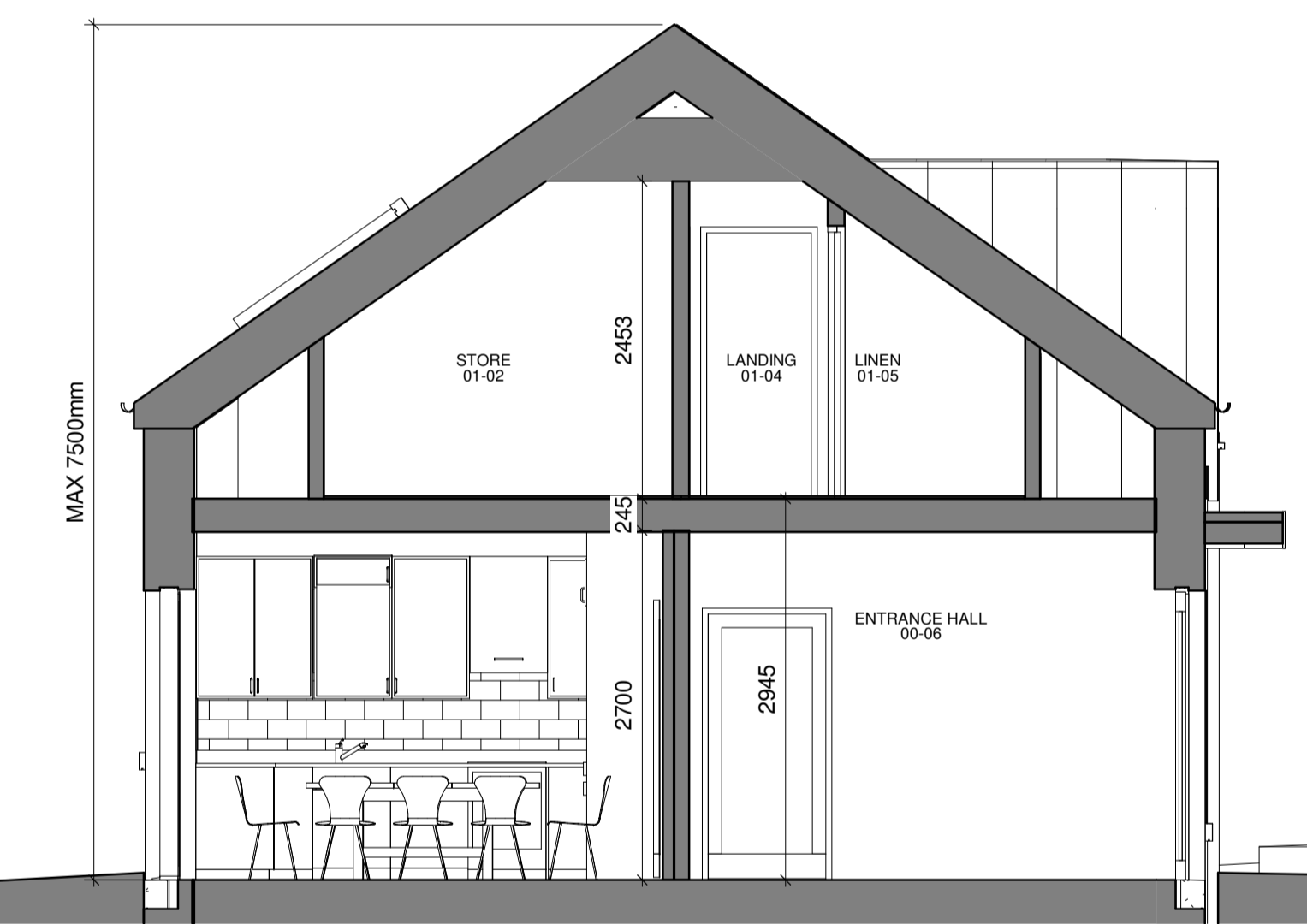
- EXTERNAL ROOF FINISH : PITCHED ROOFS FINISHED IN SLATE BLUE BLACK IN COLOUR
- EXTERNAL WINDOWS & DOORS : TIMBER ALU CLAD FRAMES WITH HIGHLY EFFICIENT GLAZING (MAX 0.8W/MK) -FINISHED IN SELECTED COLOURS TO DETAIL.
- EXTERNAL WALLS : GENERALLY MASONRY WITH RENDERED FINISH PAINTED TO SELECTED NEUTRAL COLOUR
- DORMER WINDOW: SELECTED GREY STANDING SEAM FINISH TO FEATURE DORMER WINDOW AND PORCH CANOP
- FASCIA & SOFFIT TO MATCH RAINWATER PRODUCTS.
- PRE-CAST CONCRETE CILLS TO WINDOWS
- CONCRETE FOOTPATHS TO PERIMETER-BRUSH FINISH
- FLUSH DOOR THRESHOLD TO FRONT DOOR, WITH DRAINAGE CHANNEL TO ENTRANCE



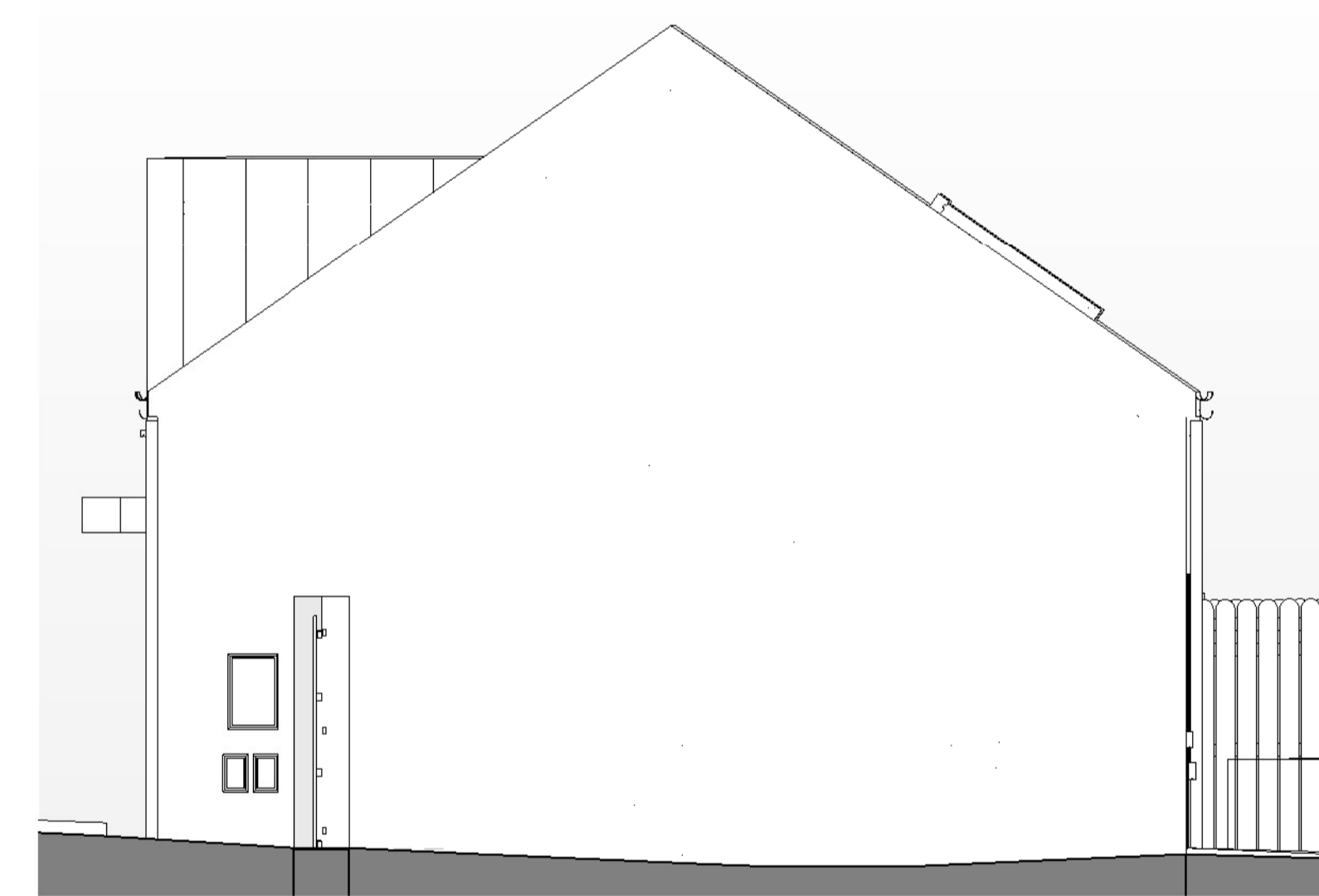
**D-2B-4P-FRONT ELEVATION**  
SCALE: 1 : 50



**D-2B-4P-REAR ELEVATION**  
SCALE: 1 : 50



**D-2B-4P-SECTION A**  
SCALE: 1 : 50



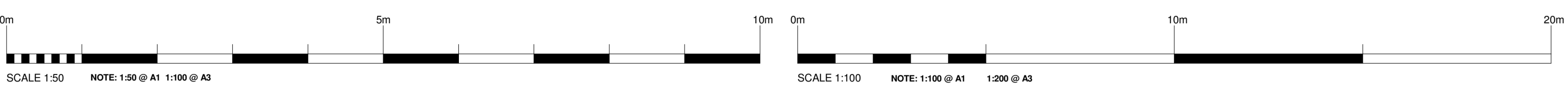
**D-2B-4P-GABLE**  
SCALE: 1 : 50

(99) 2 BED (4 PERSON) DORMER HOUSE TYPE-Room Schedule				
NO.	Name	Area	MIN	Comments
00-01	LIVING	15 m <sup>2</sup>	MIN 13M2	
00-02	KITCHEN-DINING	17 m <sup>2</sup>	AGG TOTAL 31.85M2 (MIN 30M2)	
00-03	BEDROOM 01	11 m <sup>2</sup>	MIN 11.4M2 DOUBLE	
00-04	SHOWER	4 m <sup>2</sup>		
00-05	stair press	1 m <sup>2</sup>		PART OF STORAGE
00-06	ENTRANCE HALL	5 m <sup>2</sup>		
01-01	BEDROOM 2	14 m <sup>2</sup>	MIN 13M2 MAIN DOUBLE	
01-02	STORE	2 m <sup>2</sup>	AGG TOTAL 4.2M2 (MIN 4M2)	
01-03	BATHROOM	5 m <sup>2</sup>		
01-04	LANDING	2 m <sup>2</sup>		
01-05	LINEN	1 m <sup>2</sup>		PART OF STORAGE

(99) 2 BED (4 PERSON) DORMER HOUSE TYPE-Area Schedule		
Name	Area	
01-1ST FLOOR AREA	29 m <sup>2</sup>	
00-GROUND FLOOR AREA	58 m <sup>2</sup>	
<b>AREA TOTAL - 87M2</b>		

TOTAL FLOOR AREA-87M2 (USEFUL HEIGHT-HABITABLE AREA ONLY INCLUDED). MIN TARGET 2B 4P 2 STOREY- IS 80M2 PLUS 10% (8M2) ALLOWANCE TOTAL 88M2.

(99) 2 BED (4 PERSON) DORMER SCALE HOUSE TYPE SCHEDULE		
HOUSE TYPE COMMENT	UNIT NUMBER	
DORMER-2B (4P) HANDED	UNIT 03	
DORMER-2B (4P)	UNIT 04	
DORMER-2B (4P) HANDED	UNIT 05	
DORMER-2B (4P)	UNIT 06	
DORMER-2B (4P) HANDED	UNIT 07	
<b>2 BED DORMER HOUSE TYPE TOTAL: 5</b>		



**(99) 2 BED (4P) HOUSE TYPE 3D VIEW**  
SCALE:

Purpose of Issue: **ABP APPLICATION**

STATUS KEY			
Rev No.	Date	Comment	
P01	31/03/2022	An Board Pleasanele Submission	



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MAYO COUNTY COUNCIL

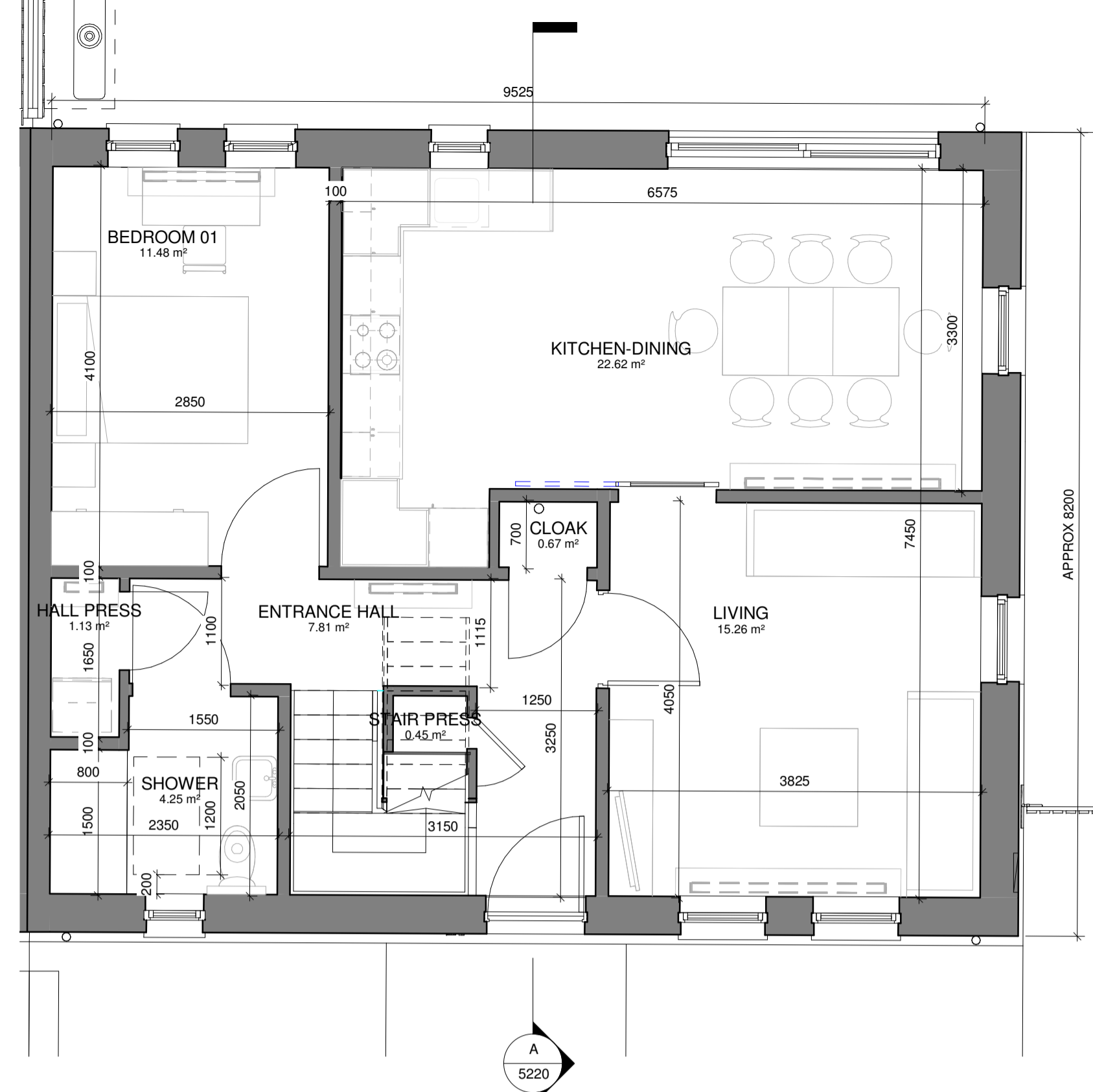


Project No: <b>A_586</b>	Project Title: Housing CROSS WEST, CO. MAYO	Dwg Type: <b>99</b>	Status: <b>A1</b>
Drawing Title: 2 BED (4P) DORMER HOUSE TYPE- DETAILS		Drawing No. <b>5210</b>	Revision: <b>P01</b>
Drawn By: cm/mw	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: <b>1 : 50</b>	First Issue: <b>JULY 2021</b>
Checked By: CM	<b>A_586 - MCC - 99 - XX - DR - A - 5210 - A1</b>		

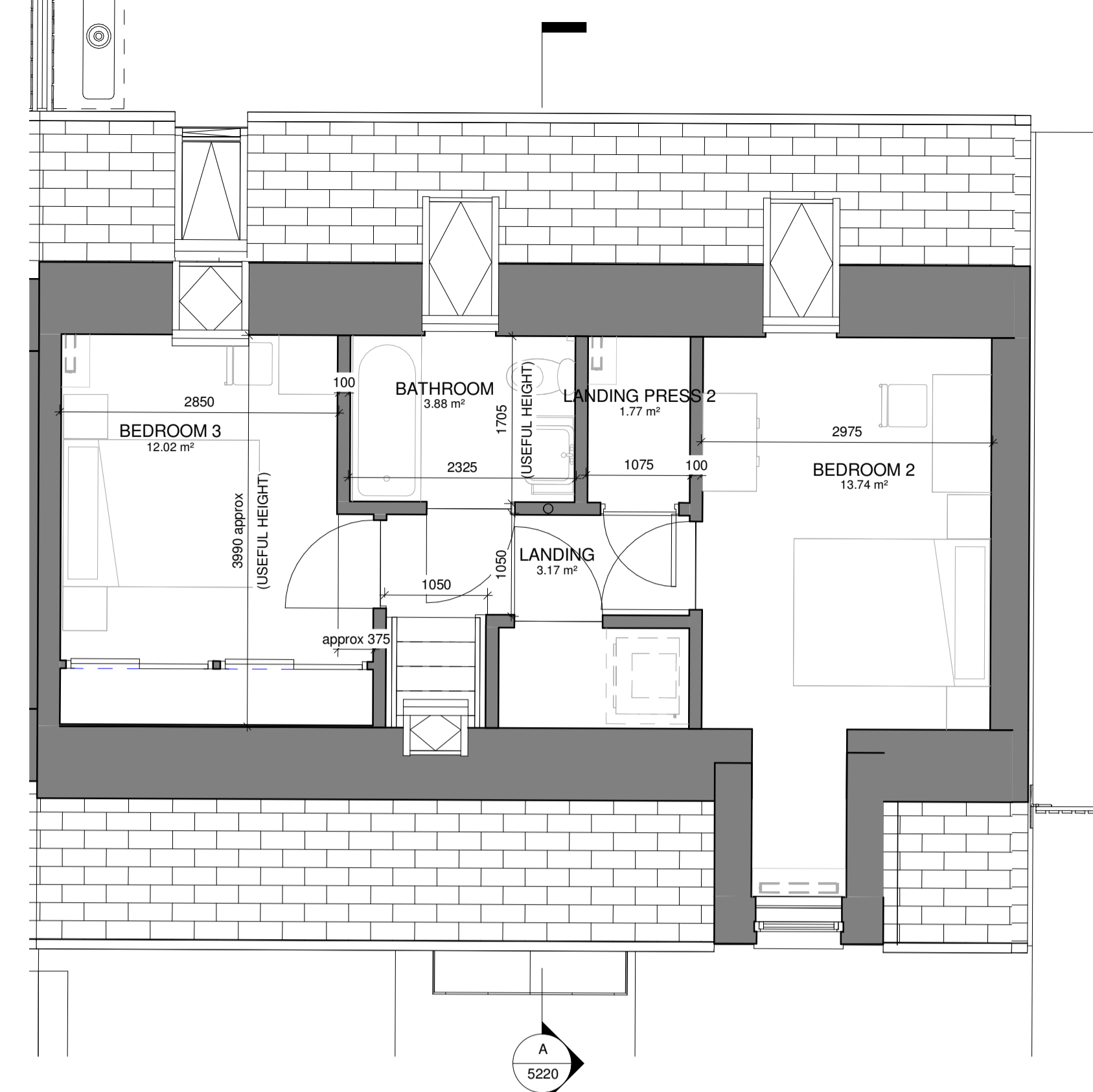


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 Do not scale this drawing. Use written dimensions only.

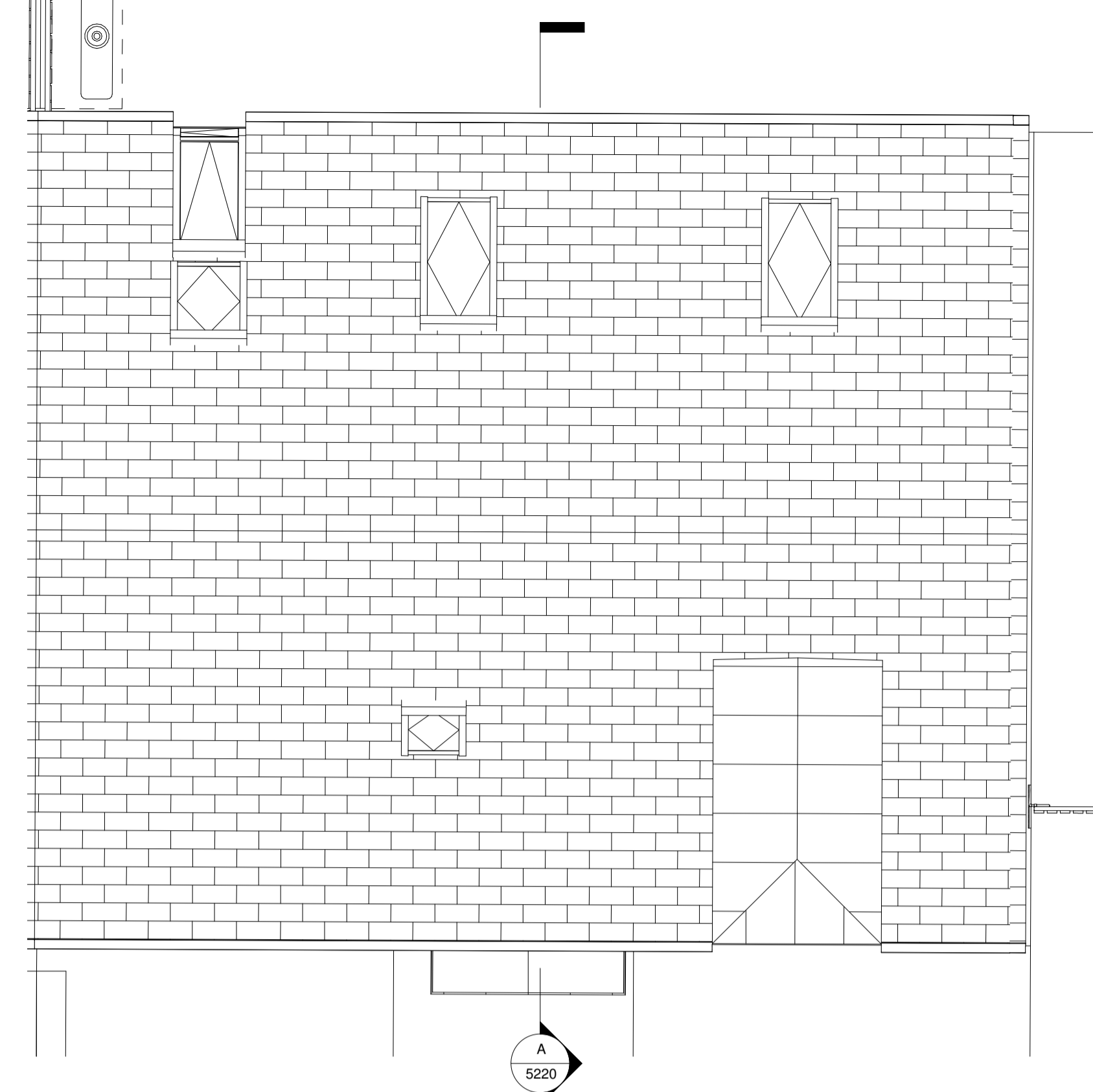
Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions. Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval. All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately. All drawings are to be read in conjunction with other consultant's drawings. All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site. Levels are generally given in metres from a specified datum. All Levels must be confirmed and checked by the Contractor on site. Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.



**D-3B-6P-GROUND FLOOR PLAN**  
SCALE: 1 : 50



**D-3B-6P-FIRST FLOOR PLAN**  
SCALE: 1 : 50



**D-3B-6P-ROOF PLAN**  
SCALE: 1 : 50

(99) 3 BED (6 PERSON) TYPICAL DORMER-Room Schedule				
NO.	Name	Area	Comments	
00-01	LIVING	15 m <sup>2</sup>	MIN 15M2	
00-02	KITCHEN-DINING	23 m <sup>2</sup>	AGG TOTAL 37.88M2 (MIN 37M2)	
00-03	BEDROOM 01	11 m <sup>2</sup>	MIN 11.4M2 DOUBLE	
00-04	HALL PRESS	1 m <sup>2</sup>	PART OF STORAGE	
00-05	SHOWER	4 m <sup>2</sup>		
00-06	STAIR PRESS	0 m <sup>2</sup>	PART OF STORAGE	
00-07	CLOAK	1 m <sup>2</sup>	PART OF STORAGE	
00-08	ENTRANCE HALL	8 m <sup>2</sup>		
01-01	BEDROOM 2	14 m <sup>2</sup>	MIN 13M2 MAIN DOUBLE	
01-02	BATHROOM	4 m <sup>2</sup>		
01-03	BEDROOM 3	12 m <sup>2</sup>	MIN 11.4M2 DOUBLE	
01-05	LANDING PRESS 2	2 m <sup>2</sup>	AGG TOTAL 6.04M2 (MIN 6M2)	
01-06	LANDING	3 m <sup>2</sup>		
01-07	LANDING PRESS 1	3 m <sup>2</sup>	PART OF STORAGE	

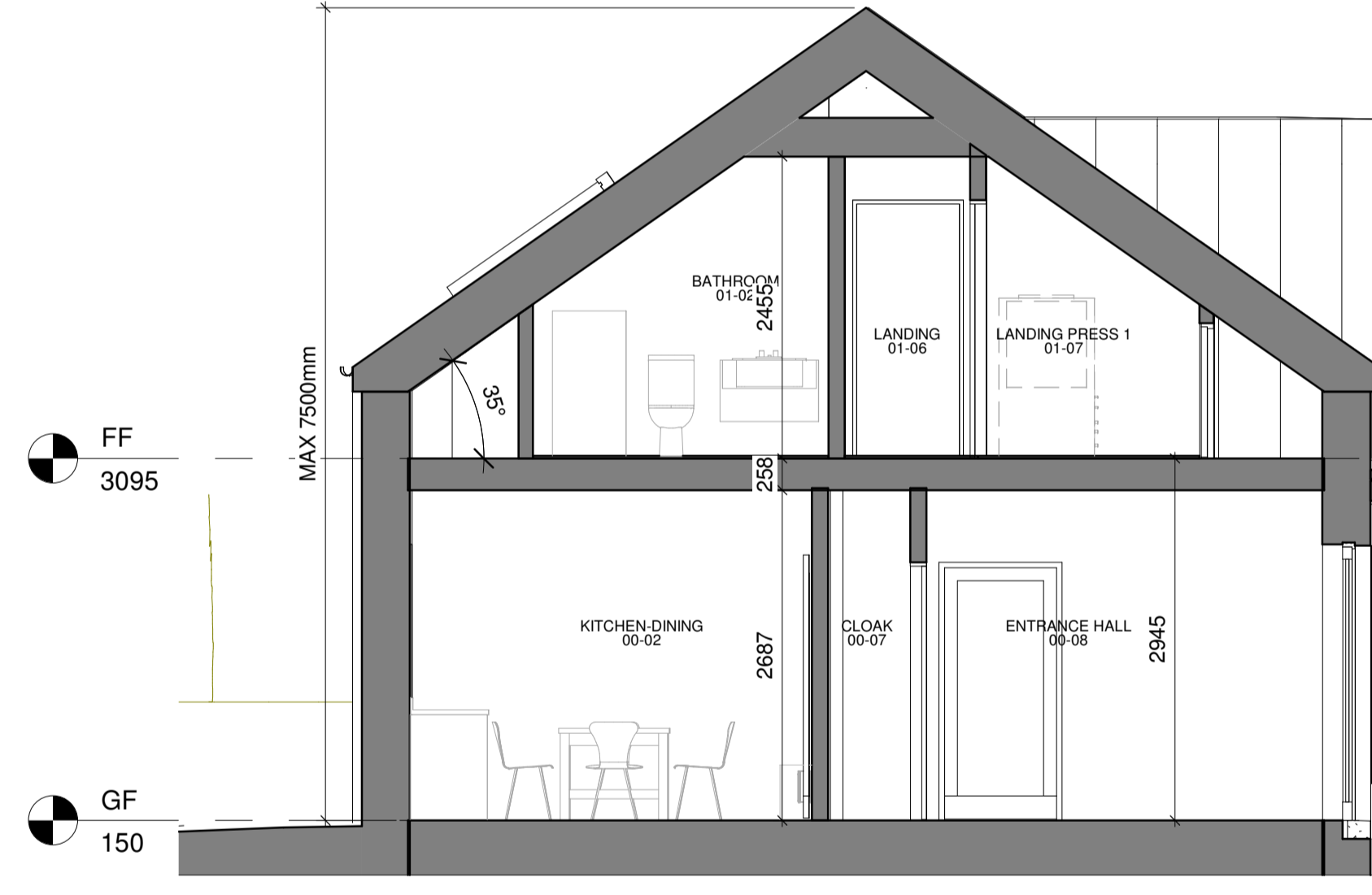
(99) 3 BED (6 PERSON) TYPICAL DORMER-Area Schedule	
Name	Area
01-1ST FLOOR AREA	40 m <sup>2</sup>
00-GROUND FLOOR AREA	70 m <sup>2</sup>
AREA TOTAL 109M2	
TOTAL FLOOR AREA=109M2 (USEFUL HEIGHT-HABITABLE AREA ONLY INCLUDED). MIN TARGET 3B 6P 2 STOREY . IS 100M2 PLUS 10% (10M2) ALLOWANCE TOTAL 110M2.	



**D-3B-6P-FRONT ELEVATION**  
SCALE: 1 : 50



**D-3B-6P-REAR ELEVATION**  
SCALE: 1 : 50



**D-3B-6P-SECTION A**  
SCALE: 1 : 50

(99) 3 BED (6 PERSON) TYPICAL DORMER SCALE HOUSE TYPE SCHEDULE	
HOUSE TYPE COMMENT	UNIT NUMBER
DORMER-3B (6P) HANDED	UNIT 02
DORMER-3B (6P)	UNIT 08
3 BED DORMER TYPICAL HOUSE TYPE TOTAL: 2	

**MATERIALS: (EXTERNAL)**

**EXTERNAL ROOF FINISH :** PITCHED ROOFS FINISHED IN SLATE BLUE BLACK IN COLOUR

**EXTERNAL WINDOWS & DOORS :** TIMBER ALU CLAD FRAMES WITH HIGHLY EFFICIENT GLAZING (MAX 0.8W/MK) -FINISHED IN SELECTED COLOURS TO DETAIL.

**EXTERNAL WALLS :** GENERALLY MASONRY WITH RENDERED FINISH PAINTED TO SELECTED NEUTRAL COLOUR

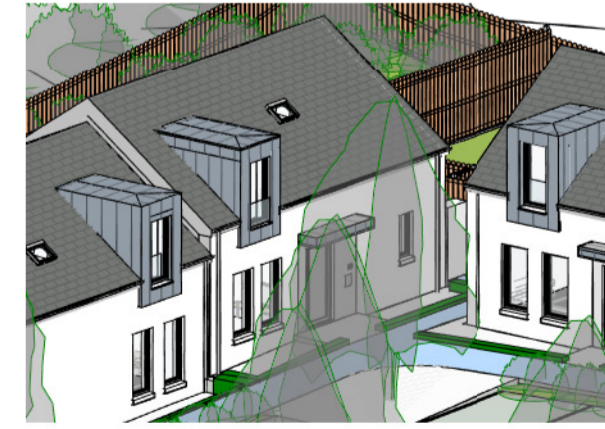
**DORMER WINDOW:** SELECTED GREY STANDING SEAM FINISH TO FEATURE DORMER WINDOW AND PORCH CANOP

FASCIA & SOFFIT TO MATCH RAINWATER PRODUCTS.

PRE-CAST CONCRETE CILLS TO WINDOWS

CONCRETE FOOTPATHS TO PERIMETER-BRUSH FINISH

FLUSH DOOR THRESHOLD TO FRONT DOOR, WITH DRAINAGE CHANNEL TO ENTRANCE



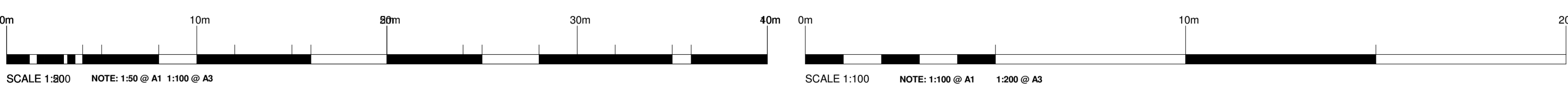
**(99) 3 BED (6P) TYPICAL DORMER 3D VIEW-UNIT 02**  
SCALE: 1 : 100



**(99) 3 BED (6P) TYPICAL DORMER 3D VIEW-UNIT 08**  
SCALE: 1 : 100



**D-3B-6P-GABLE ELEVATION**  
SCALE: 1 : 100



STATUS KEY			
Rev No.	Date	Comment	
P01	31/03/2022	An Board Pleaenale Submission	



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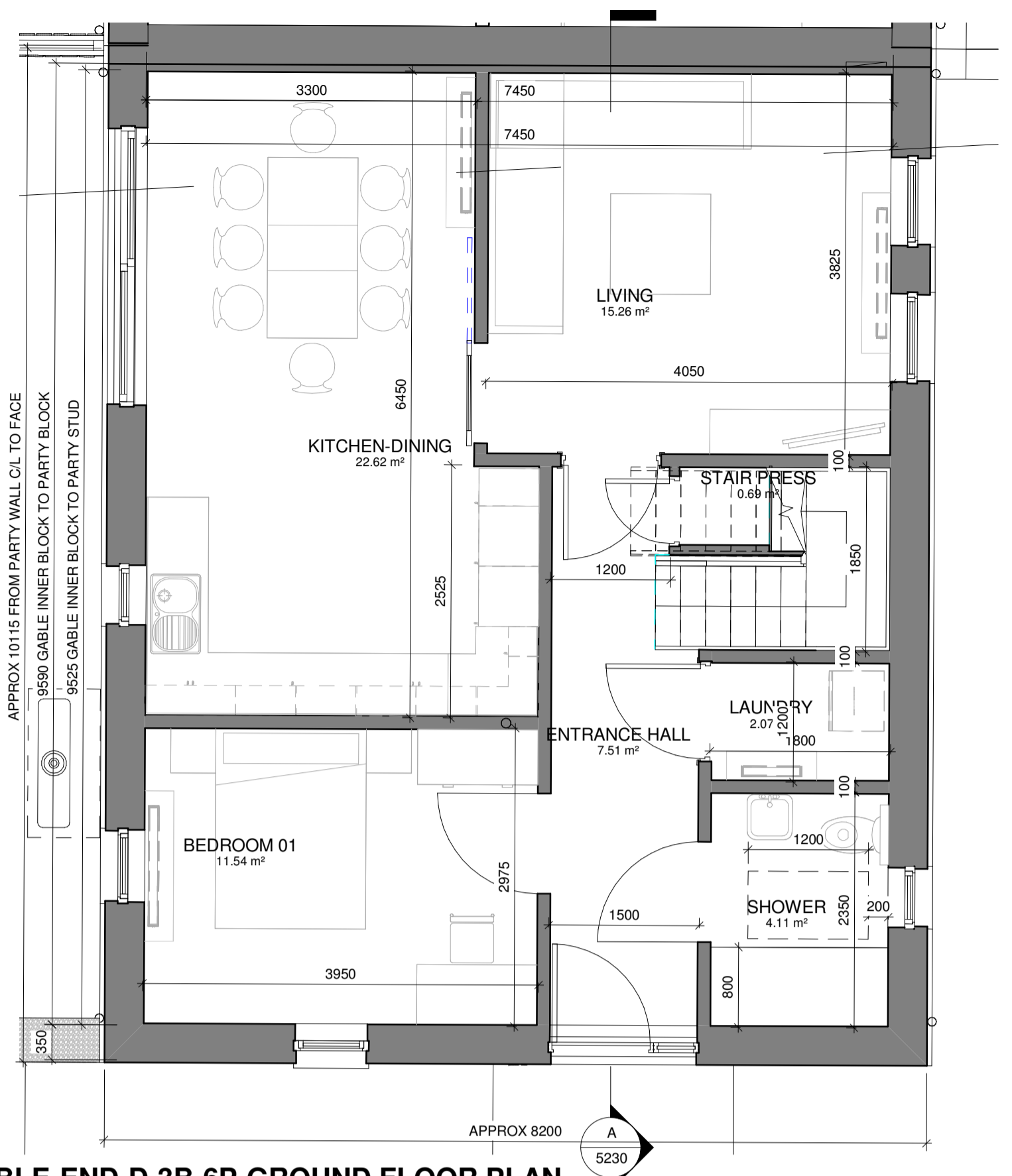


Purpose of Issue: <b>ABP APPLICATION</b>		Dwg Type: <b>99</b>	Status: <b>A1</b>
Project No: <b>A_586</b>	Project Title: <b>Housing CROSS WEST, CO. MAYO</b>	Drawing No: <b>5220</b>	Revision: <b>P01</b>
Drawing Title: <b>3 BED (6P) TYPICAL DORMER HOUSE TYPE DETAILS</b>		Scale: <b>As indicated</b>	First Issue: <b>JULY 2021</b>
Drawn By: <b>cm/mw</b>	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Checked By: <b>CM</b>	<b>A_586 - MCC - 99 - XX - DR - A - 5220 - A1</b>

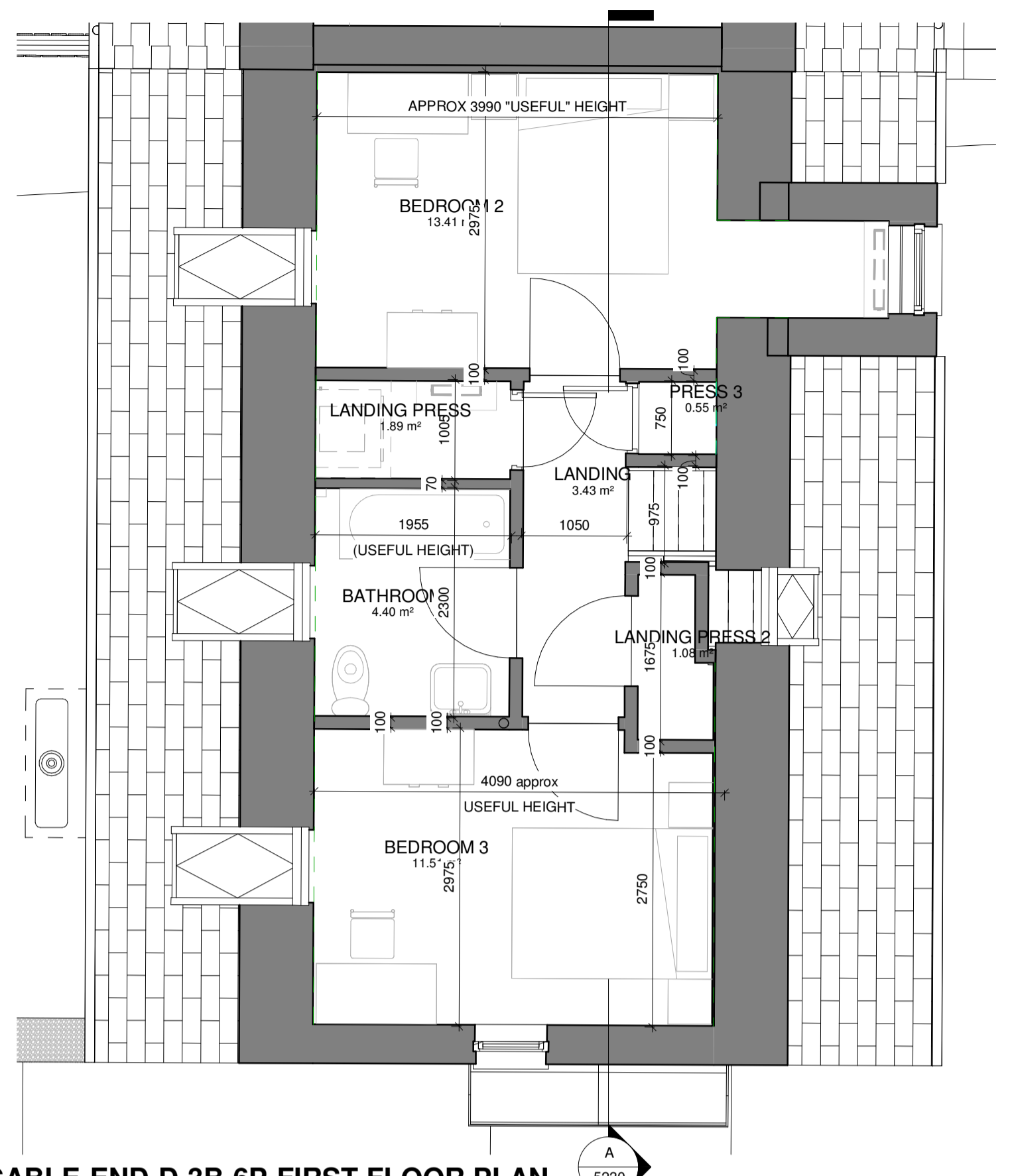


Do not scale this drawing. Use written dimensions only

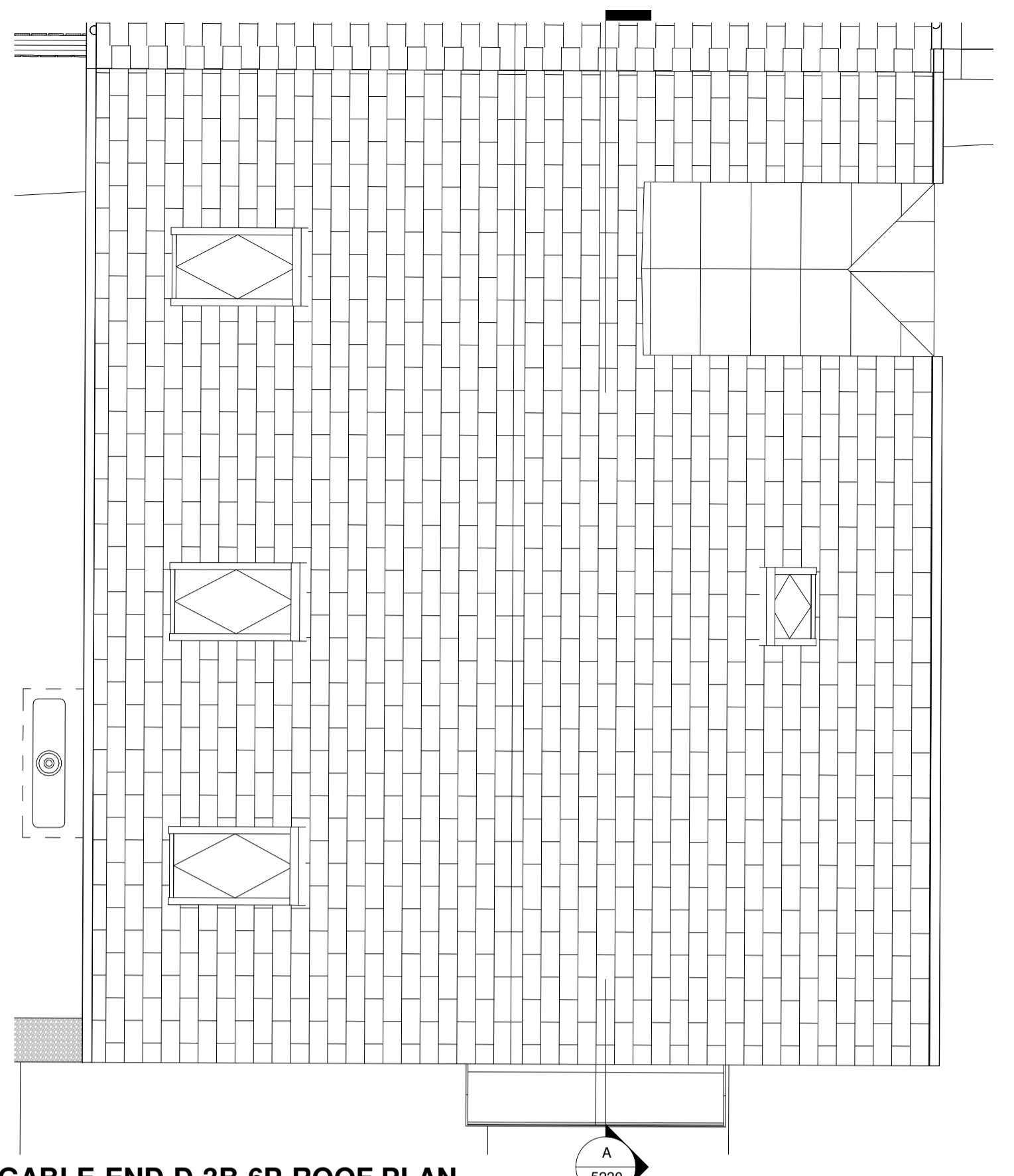
Scales as stated are valid on the original drawing only. Written dimensions take precedence over plan dimensions. Detail dimensions take precedence over plan dimensions. Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval. All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately. All drawings are to be read in conjunction with other consultant's drawings. All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site. Levels are generally given in metres from a specified datum. All Levels must be confirmed and checked by the Contractor on site. Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.



**GABLE-END-D-3B-6P-GROUND FLOOR PLAN**  
SCALE: 1 : 50



**GABLE-END-D-3B-6P-FIRST FLOOR PLAN**  
SCALE: 1 : 50



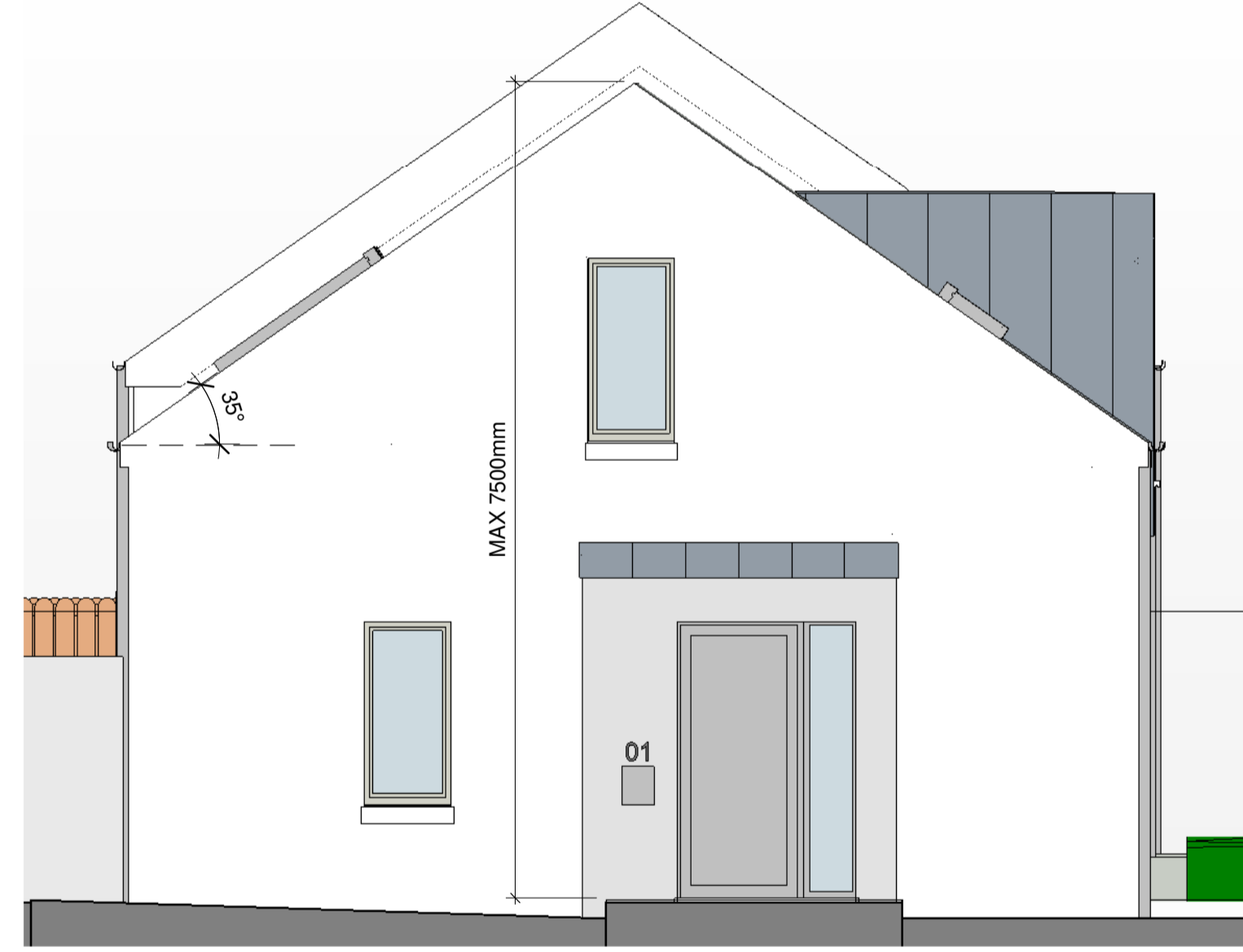
**GABLE-END-D-3B-6P-ROOF PLAN**  
SCALE: 1 : 50

(99) 3 BED (6 PERSON) GABLE ENTRANCE DORMER HOUSE TYPE-Room Schedule			
NO.	Name	Area	Comments
00-01	LIVING	15 m <sup>2</sup>	MIN 15M2
00-02	KITCHEN-DINING	23 m <sup>2</sup>	AGG TOTAL 37.88M2 (MIN 37M2)
00-03	BEDROOM 01	12 m <sup>2</sup>	MIN 11.4M2 DOUBLE
00-04	ENTRANCE HALL	8 m <sup>2</sup>	
00-05	SHOWER	4 m <sup>2</sup>	
00-06	LAUNDRY	2 m <sup>2</sup>	PART OF STORAGE
00-07	STAIR PRESS	1 m <sup>2</sup>	PART OF STORAGE
01-01	BEDROOM 2	13 m <sup>2</sup>	MIN 13M2 MAIN DOUBLE
01-02	LANDING PRESS 2	2 m <sup>2</sup>	PART OF STORAGE
01-03	BATHROOM	4 m <sup>2</sup>	
01-04	BEDROOM 3	12 m <sup>2</sup>	MIN 11.4M2 DOUBLE
01-05	LANDING PRESS 2	1 m <sup>2</sup>	PART OF STORAGE
01-06	PRESS 3	1 m <sup>2</sup>	AGG TOTAL 6.28M2 (MIN 6M2)
01-07	LANDING	3 m <sup>2</sup>	

(99) 3 BED (6 PERSON) GABLE-ENTRANCE DORMER-Area Schedule	
Name	Area
01-1ST FLOOR AREA	40 m <sup>2</sup>
00-GROUND FLOOR AREA	70 m <sup>2</sup>
<b>AREA TOTAL</b>	<b>109M2</b>

TOTAL FLOOR AREA=109M2 (USEFUL HEIGHT-HABITABLE AREA ONLY INCLUDED). MIN TARGET 3B SP 2 STOREY- IS 100M2 PLUS 10% (10M2) ALLOWANCE TOTAL 110M2.

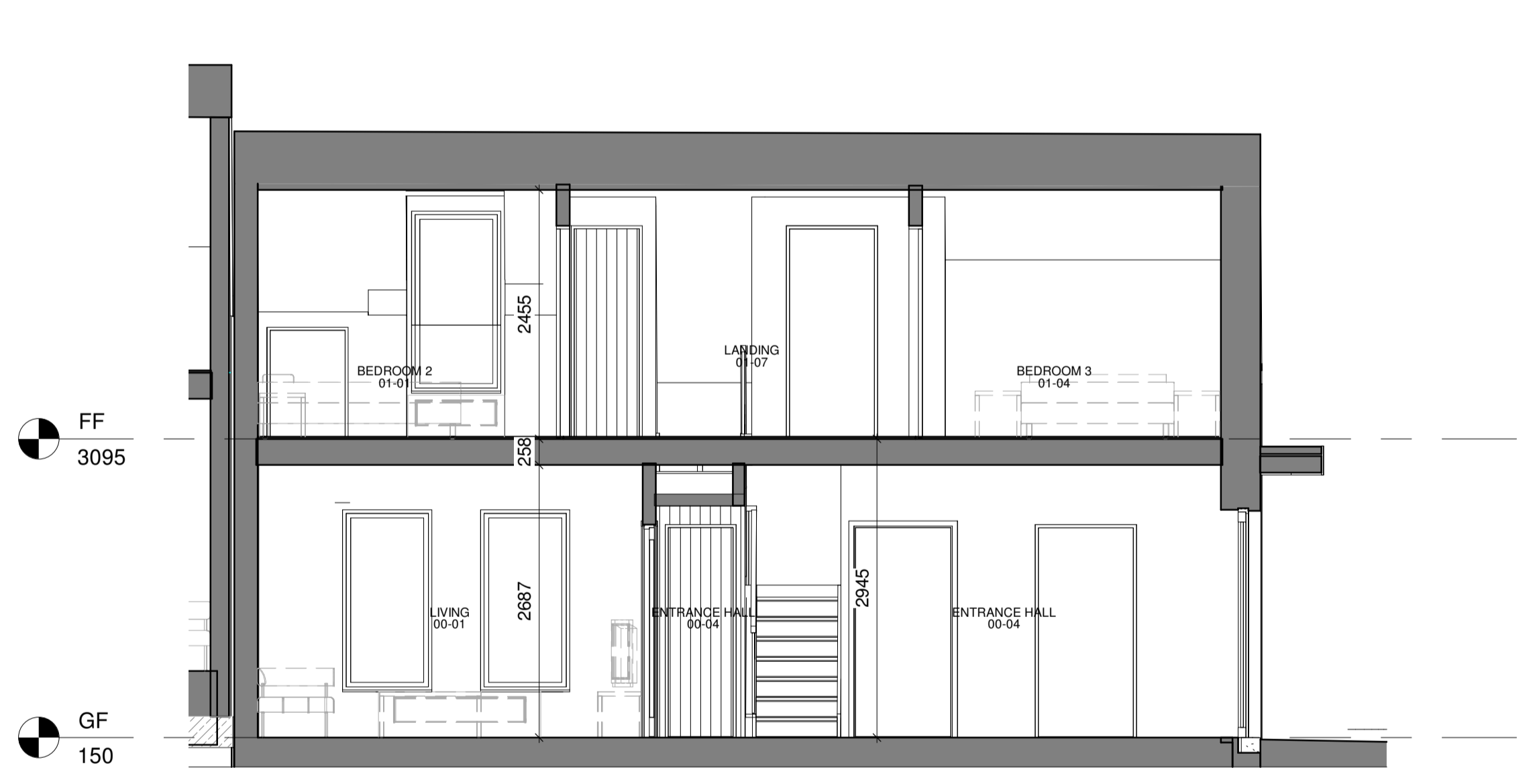
(99) 3 BED (6 PERSON) GABLE ENTRANCE DORMER SCALE HOUSE TYPE SCHEDULE	
HOUSE TYPE COMMENT	UNIT NUMBER
DORMER-3B (6P) GABLE-ENTRANCE	UNIT 01
3 BED DORMER HOUSE TYPE TOTAL: 1	



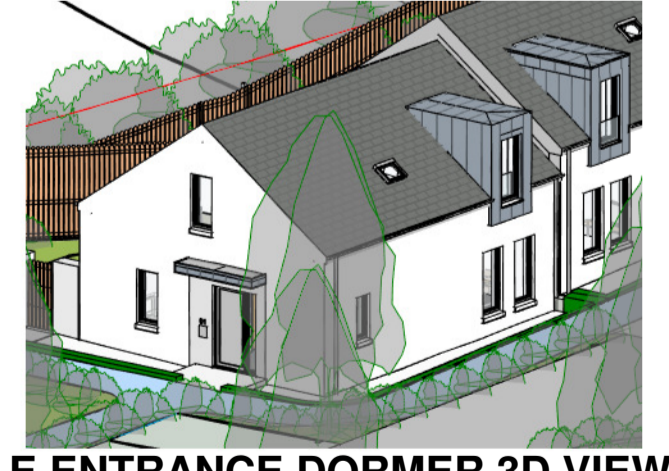
**GABLE-ENT-D-3B-60-ENTRANCE ELEVATION**  
SCALE: 1 : 50



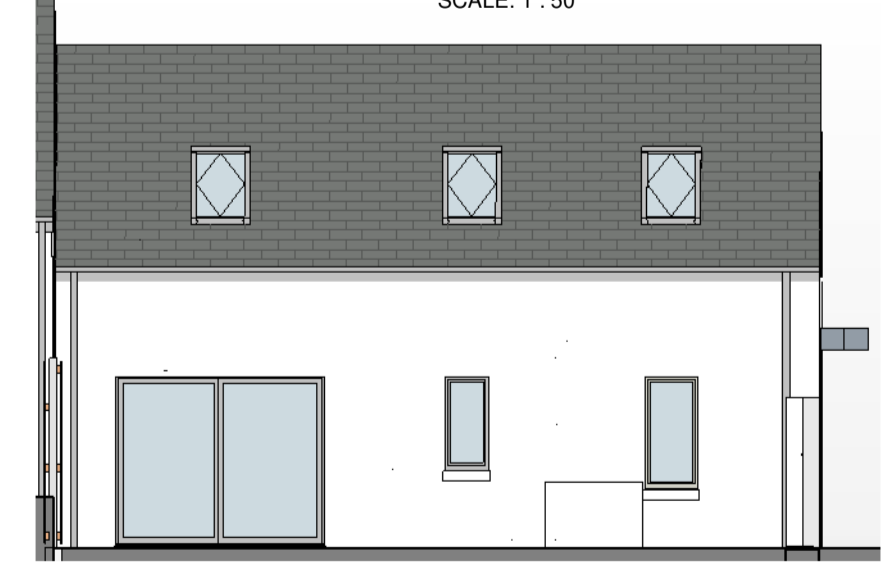
**GABLE-ENT-3B-6P-STREET ELEVATION**  
SCALE: 1 : 50



**GABLE-ENT-D-3B-6P-SECTION A**  
SCALE: 1 : 50



**GABLE ENTRANCE DORMER 3D VIEW-UNIT 01**  
SCALE: 5m



**GABLE-ENT-3B-6P-REAR ELEVATION**  
SCALE: 1 : 100

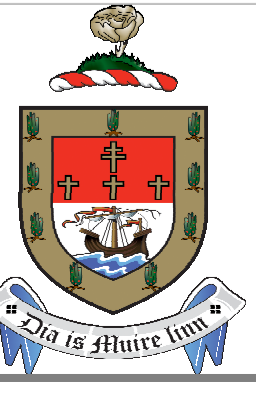
**MATERIALS: (EXTERNAL)**

- EXTERNAL ROOF FINISH** : PITCHED ROOFS FINISHED IN SLATE BLUE BLACK IN COLOUR
- EXTERNAL WINDOWS & DOORS** : TIMBER ALU CLAD FRAMES WITH HIGHLY EFFICIENT GLAZING (MAX 0.8W/MK) -FINISHED IN SELECTED COLOURS TO DETAIL.
- EXTERNAL WALLS** : GENERALLY MASONRY WITH RENDERED FINISH PAINTED TO SELECTED NEUTRAL COLOUR
- DORMER WINDOW** : SELECTED GREY STANDING SEAM FINISH TO FEATURE DORMER WINDOW AND PORCH CANOP

FASCIA & SOFFIT TO MATCH RAINWATER PRODUCTS.  
PRE-CAST CONCRETE GILLS TO WINDOWS  
CONCRETE FOOTPATHS TO PERIMETER-BRUSH FINISH  
FLUSH DOOR THRESHOLD TO FRONT DOOR, WITH DRAINAGE CHANNEL TO ENTRANCE

Purpose of Issue: **ABP APPLICATION**

STATUS KEY	Rev No.	Date	Comment
SHARED - FOR INFORMATION	P01	31/03/2022	An Board Pleaenale Submission
S0			WORK IN PROGRESS
S1			COORDINATION
S2			INFORMATION
S3			REVIEW / COMMENT
D0			CONSENT APPROVAL
D1			COSTING
D2			TENDER
D3			CONTRACTOR DESIGN
PUBLISHED			
A1			PTB / FSC / DAC
A2			CONSTRUCTION
AB			AS BUILT



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Project No: <b>A 586</b>	Project Title: Housing CROSS WEST, CO. MAYO	Dwg Type: <b>99</b>	Status: <b>A1</b>
Drawing Title: 3 BED (6P) GABLE ENTRANCE DORMER DETAILS		Drawing No. <b>5230</b>	Revision: <b>P01</b>
Drawn By: cm/mw	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: As indicated	First Issue: JULY 2021
Checked By: CM	A_586 - MCC - 99 - XX - DR - A - 5230 - A1		



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- All drawings are to be read in conjunction with other consultant's drawings
- All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
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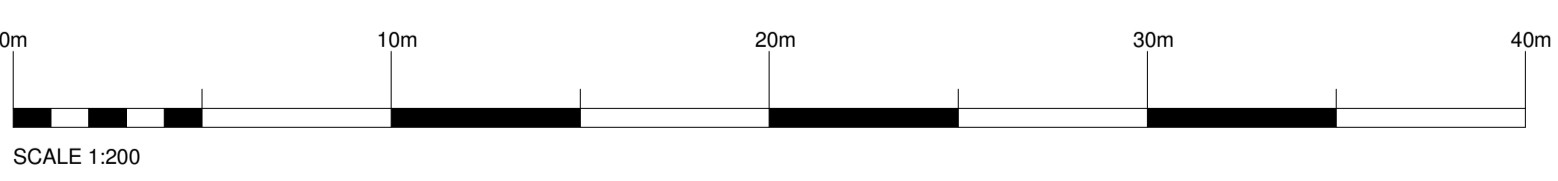


**3D SITE OVERVIEW**  
SCALE:

<b>PROPOSAL:</b>	CONSTRUCTION OF 08 NO. DWELLINGS COMPRISING OF 05 NO. 2 BEDROOMED DORMER SCALE TWO STOREY HOUSES AND 3 NO. 3 BEDROOMED DORMER SCALE TWO STOREY HOUSES IN A SEMI DETACHED ARRANGEMENT. SCALE, MASSING, ARCHITECTURAL EXPRESSION AND DETAILING ARE DESIGNED TO BE IN KEEPING WITH TRADITIONAL HOUSES OF THE AREA. ACCESS DESIGNED IN COMPLIANCE WITH PART M AND DMURS WITH OFF STREET CAR PARKING AND HOMEZONE. PUBLIC FOOTPATHS NEAR DWELLING STREET FACADES SO THAT STREET IS "ACTIVATED" AND INTERESTING FOR PEDESTRIANS TO ENCOURAGE ACTIVE TRAVEL TO THE LOCAL VILLAGE.
<b>MATERIALS: (EXTERNAL)</b>	<p><b>EXTERNAL ROOF FINISH:</b> PITCHED ROOFS FINISHED WITH SLATE BLUE BLACK IN COLOUR.</p> <p><b>EXTERNAL WINDOWS &amp; DOORS:</b> TIMBER ALU CLAD FRAMES WITH HIGHLY EFFICIENT GLAZING (MAX 0.8W/MK) - FINISHED IN SELECTED COLOURS TO DETAIL.</p> <p><b>EXTERNAL WALLS:</b> GENERALLY MASONRY WITH RENDERED FINISH PAINTED TO SELECTED NEUTRAL COLOUR</p> <p><b>DORMER WINDOW:</b> SELECTED GREY STANDING SEAM FINISH TO FEATURE DORMER WINDOW AND PORCH CANOP</p> <p>FASCIA &amp; SOFFIT TO MATCH RAINWATER PRODUCTS.</p> <p>PRE-CAST CONCRETE CILLS TO WINDOWS</p> <p>CONCRETE FOOTPATHS TO PERIMETER-BRUSH FINISH</p> <p>FLUSH DOOR THRESHOLD TO FRONT DOOR. WITH DRAINAGE CHANNEL TO ENTRANCE</p>

Purpose of Issue: **ABP APPLICATION**

Project No: <b>A_586</b>	Project Title: Housing CROSS WEST, CO. MAYO	Dwg Type: <b>90</b>	Status: <b>A1</b>
Drawing Title: PROPOSED 3D SITE OVERVIEW	Drawing No. <b>5205</b>	Revision: <b>P01</b>	First Issue: JULY 2021
Drawn By: cm/mw	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: <b>1 : 200</b>	
Checked By: CM	<b>A_586 - MCC - 90 - XX - DR - A - 5205 - A1</b>		



STATUS KEY			
Rev No.	Date	Comment	
P01	31/03/2022	An Board Plaeanale Submission	



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