



Comhairle Contae Mhaigh Eo  
Mayo County Council

**PROVISION OF TOWN HOUSES  
AT  
MOUNT STREET  
CLAREMORRIS  
CO. MAYO**

**SCREENING FOR APPROPRIATE ASSESSMENT**

**SEPTEMBER 2022**

**Mayo County Council,**  
Aras an Chontae,  
The Mall,  
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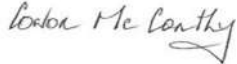


**DOCUMENT APPROVAL**

<b>PROJECT</b>	Provision of Town Houses at Mount Street, Claremorris, Co. Mayo	
<b>CLIENT / JOB NO</b>	Mayo County Council	6729
<b>DOCUMENT TITLE</b>	Screening for Appropriate Assessment	

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## **1. INTRODUCTION**

### **1.1 BACKGROUND**

Jennings O'Donovan & Partners Limited have been commissioned by Mayo County Council to carry out a Stage I Appropriate Assessment Screening under Article 6(3) of Council Directive 92/43/EEC (Habitats Directive) for the proposed provision of Town Houses at Mount Street, Claremorris, Co. Mayo, hereafter referred to as the 'Proposed Housing Development'

The purpose of this report is to assess the various elements of the project in terms of potential impacts to European Sites within the Zone of Influence (Zoi) of the project site. Potential cumulative impacts of the overall Proposed Housing Development, individually and in-combination with other plans and projects within the area of the waterbody catchment were also assessed in relation to existing, or proposed elements of the project. Locations where works will be carried out were surveyed for the presence of protected habitats and species as set out in the Birds and Habitats Directives.

This proposal is not necessary for the conservation management of a European site.

### **1.2 AUTHOR'S QUALIFICATION AND EXPERTISE**

This Stage I Appropriate Assessment Screening has been prepared by Dr. Monica Sullivan, Principal Environmental Scientist and Lead Ecologist at Jennings O'Donovan & Partners Limited. She is a full member of the Chartered Institute of Ecology and the Environmental Management and a chartered Environmentalist. Dr. Sullivan has over 35 years' experience in the natural sciences, specialising in fisheries management, aquatic ecology and freshwater invertebrate taxonomy. She has lectured since the mid 1990's – 2017 in invertebrate zoology, ecology and environmental pollution control to both masters and degree students. She was the examiner for the freshwater biology module for the Institute of Fisheries Management, England. Monica's experience includes invasive species surveys, management plans, ecological studies, Environmental Impact Assessment (EIA) screenings, Appropriate Assessment (AA) screenings, Natura Impact Statements (NIS), otter surveys, badger surveys, freshwater macroinvertebrate and instream flora surveys.

Qualified to doctorate level, Monica previously worked as a partner in an environmental consultancy, undertaking fieldwork and specialising in Environmental Assessments of medium to large scale infrastructural projects and the coordination and management of AA and Environmental Impact Assessment processes. She has a clear understanding of the legislative framework governing the extent of environmental investigations, assessments and reports required to secure the necessary approvals on all types of projects. She has extensive experience in management of specialist sub-consultants and working in a team environment and a history of collaborating with participants on research projects. Dr. Sullivan was author and researcher on an Environmental Government Program on invasive species. She is chief author of a chapter in the book Zebra Mussels in Europe and has published many papers on the topic. She spent several years working as both English and Scientific editor for international scientific journals. In 2017, she was expert advisor for 'horizon scan' invasive species workshop.

### 1.3 REGULATORY CONTEXT

Under Section 177U (1) of the Planning Acts, a Screening for AA of the Proposed Housing Development shall be carried out by the competent authority (in this case, Mayo County Council) to assess in view of best scientific knowledge, if that Proposed Housing Development, individually or in combination with other plans or projects, is likely to have a significant effect(s) on any European sites.

Collectively, Special Areas of Conservation (SACs) and Special Protection Areas (SPAs) are referred to as the Natura 2000 Sites. The legal basis on which SACs are selected and designated is the EU Habitats Directive, 92/43/EEC transposed into Irish law by the European Communities (Birds and Natural Habitats) Regulations 2011 (S.I. No. 477 of 2011), as amended. The designation features of SACs are referred to as Qualifying Interests (QI) and include both species (excluding birds) and habitats. Similarly, Special Protection Areas (SPA's) are legislated in the Birds Directive 2009/147/EC. The designation features of SPAs are referred to as Special Conservation Interests (SCIs) which comprise bird species as well as wetland bird habitats.

In general terms, SACs and SPAs are considered to be of exceptional importance in terms of rare, endangered or vulnerable habitats and species within the European Community.

Article 6, paragraph 3 of the Habitats Directive states that:

*“Any plan or project not directly connected with or necessary to the management of the site but likely to have a significant effect thereon, either individually or in-combination with other plans or projects, shall be subject to appropriate assessment of its implications for the site in view of the site's conservation objectives. In the light of the conclusions of the assessment of the implications for the site and subject to the provisions of paragraph 4, the competent national authorities shall agree to the plan or project only after having ascertained that it will not adversely affect the integrity of the site concerned and, if appropriate, after having obtained the opinion of the general public”.*

The statutory agency responsible for the European sites is the National Parks and Wildlife Service of the Department of Culture, Heritage and the Gaeltacht.

This report has been prepared in accordance with current guideline documents:

- Assessment of plans and projects significantly effecting Natura 2000 sites: Methodological guidance on the provisions of Article 6(3) and (4) of the Habitats Directive 92/43/EEC (EC, 2001)
- Appropriate Assessment of Plans and Projects in Ireland - Guidance for Planning Authorities (DEHLG 2009, Revised February 2010)
- Appropriate Assessment of Plans and Projects in Ireland Guidance for Planning Authorities. Department of the Environment, Heritage and Local Government (DoEHLG, 2009, revised 2010)
- OPR Practice Note PN01: Appropriate Assessment Screening for Development Management, March 2021, Office of the Planning Regulator
- Communication from the Commission on the Precautionary Principle. Office for Official Publications of the European Communities, Luxembourg, (EC, 2000a)
- European Communities (Birds and Natural Habitats) Regulations, 2011 (S.I. No.477 of 2011).

- Interpretation Manual of European Union Habitats. Version EUR 28. European Commission (EC, 2013).
- EU Guidance document on Article 6(4) of the 'Habitats Directive' 92/43/EEC (EC, 2007)
- Managing Natura 2000 Sites: The provisions of Article 6 of the 'Habitats' Directive 92/43/EEC (EC, 2018)
- Strict Protection of Animal Species, NPWS, 2021

The following European Court and Irish High Court rulings have been considered:

- C-127/02 Waddenzee v Staatssecretaris
- C-258/11 Sweetman v An Bord Pleanála
- C-512/12 Briels
- C-387/12 & C388/15 Orleans and others v Vlaams Gewest
- C-142/15 Moorbug
- C-323/17 People Over Wind and Peter Sweetman v Coillte
- C-162/17 Grace and Sweetman
- C-883/18 Holohan and others v An Bord Pleanála
- IEHC 84 (2019) - Kelly v An Bord Pleanála

Relevant plans from national to local scales are critical to inform a robust assessment of in-combination impacts; these are listed below:

- National Biodiversity Action Plan, for the period 2017-2021
- River Basin Management Plan for Ireland 2018-2021
- Draft Mayo County Development Plan 2022-2028

#### 1.4 THE STAGES IN AN APPROPRIATE ASSESSMENT

There are 4 stages in an Appropriate Assessment as outlined in the European Commission Guidance document (2001). The following is a brief summary of these steps:

**Stage 1 - Screening:** This stage examines the likely effects of a project either alone or in- combination with other projects upon a European site and considers whether it can be objectively concluded that these effects will not be significant.

**Stage 2 - Appropriate Assessment:** In this stage, the impact of the project on the integrity of the European site is considered, with respect to the conservation objectives of the site and to its structure and function.

**Stage 3 - Assessment of Alternative Solutions:** Should the Appropriate Assessment determine that adverse impacts are likely upon the European site, this stage examines alternative ways of implementing the project that, where possible, avoid these adverse impacts.

**Stage 4 - Assessment where no alternative solutions exist and where adverse impacts remain:** Where imperative reasons of overriding public interest (IROPI) exist, an assessment to consider whether compensatory measures will or will not effectively offset the damage to the European site will be necessary.

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As part of this Screening for Appropriate Assessment, a desk-based study of the European site within the zone of influence (Zol) of the Proposed Housing Development is required.

## 1.5 SCREENING METHODOLOGY

The function of the Screening Assessment is to identify whether or not the proposal will have a likely significant effect on any European Site. In this context “likely” refers to the presence of doubt with regard to the absence of significant effects (ECJ case C-127/02) and “significant” means not trivial or inconsequential but an effect that has the potential to undermine the site’s conservation objectives (ECJ case C-127/02). In other words, any effect that compromises the functioning and viability of a site and interferes with achieving the conservation objectives for the site would constitute a significant effect.

The nature of the likely interactions between the project and the integrity of a European Site will depend upon the sensitivity of the European Site’s qualifying features to potential impacts arising from the project; the current conservation status of the European Site and its qualifying features; and any likely changes to key environmental indicators (e.g. water quality) that underpin the conservation status of European Sites and their qualifying features, in-combination with other plans and projects.

The European Commission (2018) Guidelines outline the stages involved in undertaking a Screening Assessment of a project that has the potential to have likely significant effects on European Sites. The methodology adopted for this Screening Assessment is informed by these guidelines and was undertaken in the following steps:

1. Define the project and determine whether it is directly connected with or necessary for the conservation management of European Sites
2. Identify other plans or projects that, in-combination with the project, have the potential to effect European Sites
3. Assess whether or not the project is likely to have significant effects on European Sites in the view of its conservation objectives.

## 1.6 DESK STUDY

A desk study was carried out to collate the available information on the ecological environment of the proposed site. The National Parks and Wildlife Service (NPWS) database was consulted concerning designated conservation areas and records of rare and protected plant and animal species in the vicinity of the Proposed Housing Development. The EPA Geoportal website was used when researching European designated sites and watercourses. The National Biodiversity Data Centre (NBDC) website was also consulted. One kilometre Grid square ‘M3475’ incorporated the entire site; four protected species were recorded: Lesser Noctule bat (*Nyctalus leisleri*), Natterer’s bat (*Myotis nattereri*), Pipistrelle bat (*Pipistrellus pipistrellus sensu lato*) and Soprano Pipistrelle bat (*Pipistrellus pygmaeus*).

The Draft Mayo County Development Plan 2022-2028 and the Mayo County Council planning enquiry website were reviewed to identify any proposed plans or projects which may have a direct, indirect or cumulative impact with this project.

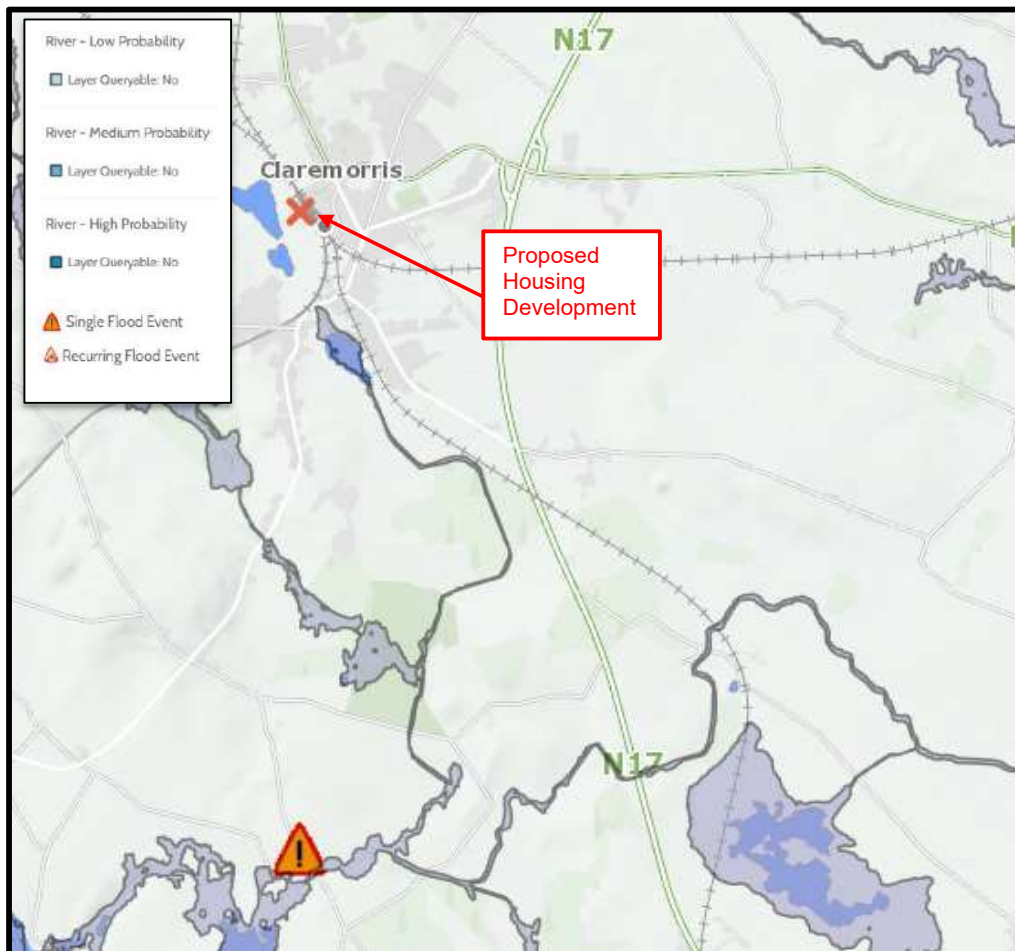


## 1.7 FIELD STUDY

A Site visit was carried out in August 2022. The initial survey involved walking all aspects of the site and identifying habitats within the site. Habitat classification followed Fossitt (2000) and the floral nomenclature used followed Parnell and Curtis (2012) and Scannell and Synnott (1987). The locations where works will be carried out were also surveyed for the presence of invasive species (as listed in the Third Schedule of S.I. No. 477 of 2011, EC (Birds and Natural Habitats) Regulations 2011).

## 1.8 FLOODING

Office of Public Works (OPW) website and the CFRAM study were accessed (May, 2022) to determine flood areas within and near the Proposed Housing Development. **Figure 1.1** shows the probability of flooding at the site, along with records of past flood events. The Proposed Housing Development itself has no surface or groundwater record of a flooding event (including winter 2015/2016 Geological Survey Ireland surface water flooding records). The nearest historical previous flood event occurred on the L-1509-48 at Crossboyne in November 2009, approximately 4km south of the Proposed Housing Development. It was a road flood event with no other historical flood events occurring.



**Figure 1.1** Flood Map for the Proposed Housing Development (Source: FloodInfo.ie, 2022)

The Geological Survey Ireland (GSI) groundwater flood mapping was examined to determine if there was an existing risk from groundwater flooding at the site. Given that the main bedrock is Ballymore

Limestone Formation with dark, fine-grained limestone and shale, there is little or no risk from groundwater flooding. The groundwater flood mapping confirmed that the site is not at risk from groundwater flooding. The site is in an area of Regionally Important Aquifer – Karstified (conduit) and is 'Moderate in vulnerability'. The groundwater waterbody Water Framework Directive (WFD) latest status (Cong-Robe Ground waterbody 2013-2018) is 'Good' indicating no change from the previous 2007-2012- and 2010-2015 survey periods. The associated ground waterbody (GWB) covers an overall area of approximately 516 km<sup>2</sup>.

## 2. PROJECT DESCRIPTION

### 2.1 SITE LOCATION

The Proposed Housing Development is located on Mount Street, Claremorris, Co. Mayo. The Proposed Housing Development lies within the town of Claremorris and is adjacent to Mount Street R320 (**Figure 2.1**). The Claremorris railway line is west of the Proposed Housing Development. The site is bordered by domestic dwellings to the north and south, a commercial building to the west and the R320 to the east. The wider surrounding landscape is comprised of Claremorris town and its amenities, commercial parks, domestic dwellings, and improved agricultural grasslands.



**Figure 2.1** Location of the Proposed Housing Development

### 2.2 PROPOSED WORKS

The proposal is for a residential development consisting of the construction of 6 no. new residential units as follows:

- Four (numbers 1, 2, 3 & 4) no. 2 bedroom apartments in a single two storey block
- Two (numbers 5 & 6) no. 1 bedroom semi-detached houses
- All associated site development works including reinstatement of footpaths, boundary treatments, public lighting, site services, drainage works and all associated infrastructure

Drawings for the Proposed Housing Development are located in Appendix A. The design intent is to re-establish the existing street edge by building four dwellings facing directly onto Mount Street, plus two further townhouses to the rear of the site, thereby making efficient use of this compact site. Two ground floor apartments will be directly accessible from the public footpath; two first-floor apartments will also be directly accessible from the public footpath via a private enclosed stairway, whilst the two townhouses to the rear will be accessed from Mount Street via an arched entrance leading to a shared courtyard space. Private amenity space is located to the rear of each dwelling and bin stores are accessible from the shared courtyard space, with parking available on the public street. The existing site restrictions are as follows:

- Terrace of dwellings to directly adjoin existing structures at western and eastern boundaries

The re-instatement and extension of the street edge will strengthen the urban fabric of this important street.

Externally the units will be plastered and painted, with vertical windows and door systems, finished with dark slated roofs and balconies to the rear of the upper floor apartments.

The scale, massing, architectural expression and detailing of the proposed scheme has been designed to be in harmony with the existing traditional buildings in the town centre.

### **3. RECEIVING ENVIRONMENT**

#### **3.1 GEOLOGY AND SOILS**

The quaternary sediments at the site of the Proposed Housing Development is classified as '*urban*'.

The Proposed Housing Development is located within the Ballymore Limestone Formation: This bedrock formation is described by the Geological Survey of Ireland as a 'dark fine-grained limestone & shale'.

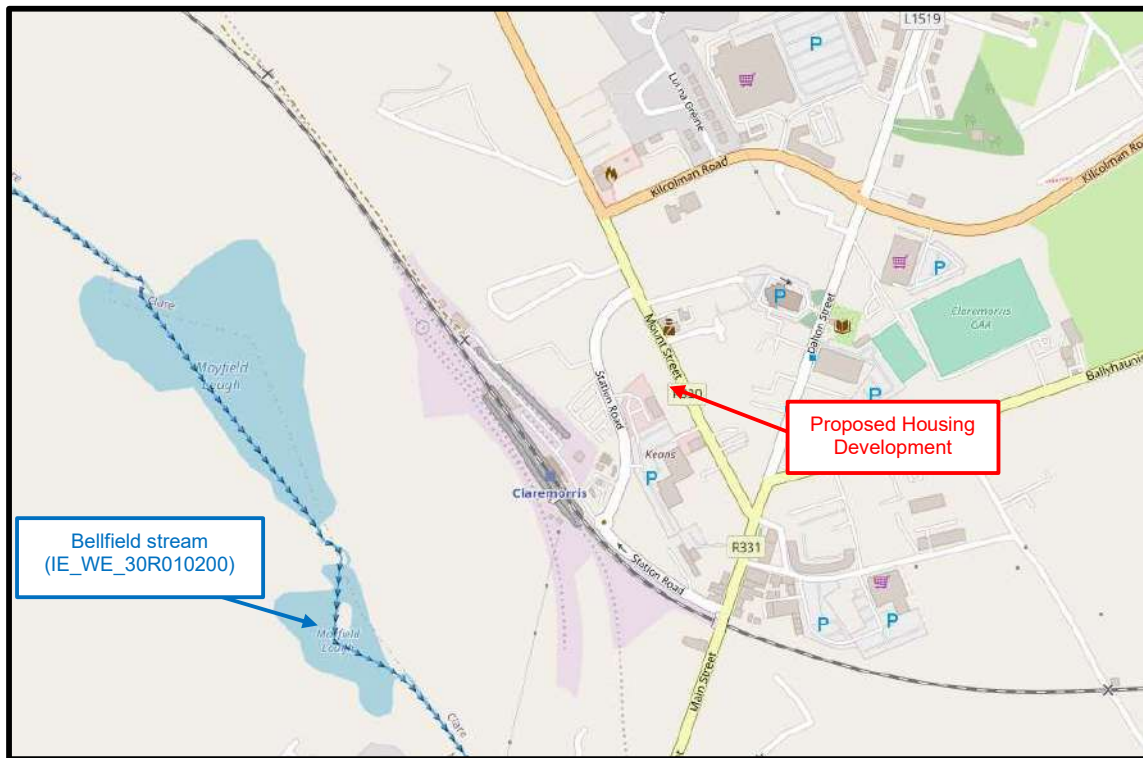
#### **3.2 HYDROLOGY AND HYDROGEOLOGY**

The Proposed Housing Development is located within the Water Framework Directive (WFD) wider catchment area of the Corrib covering an area of 3,114km<sup>2</sup> and the Robe\_SC\_010 sub catchment (c.174.24km<sup>2</sup>) and more locally the Robe\_020 River Sub Basin (RSB) which covers an area of approximately 73km<sup>2</sup> (Figure 3.1). The RSB had 'Good' ecological status for the 2013-2018 period.



**Figure 3.1** WFD River Sub Basin (RSB) and orthographic view of surrounding landscape

There is no hydrological connection between the Proposed Housing Development and any watercourse adjacent to the site. The nearest such watercourse is the order 2 Bellfield stream (Segment Code: 30\_229) which is located approximately 440 metres west of Proposed Housing Development. There is no hydrological connection to this stream.



**Figure 3.1** Watercourse in the vicinity of the Proposed Housing Development.

The site overlies bedrock which is classified as a '*Regionally Important Aquifer – Karstified Conduit*.' The Cong-Robe Waterbody (IE\_WE\_G\_0019) which underlies the Proposed Housing Development currently has a water quality classification of 'Good'. There are no springs or wells within the vicinity of the site.

Currently, the groundwater is not in an area sensitive to SPA habitats, SAC habitats or SAC species. It is in an area where there are no significant underlying pressures from waste abstraction, agriculture, aquaculture, atmospheric, extractive industry, hydromorphology, invasive species, urban runoff or otherwise (EPA Water Maps, accessed May 4<sup>th</sup> 2022). It is however noted to be in an area with anthropogenic pressures. EPA Maps (Water) was accessed (May 2022) to examine the Proposed Housing Development and local area for nitrate and phosphorus loading and Pollutant Impact Potential (PIP). PIP maps for Nitrogen (N) and Phosphorus (P) have been generated by the EPA to show the highest risk areas in the landscape for losses of N and P to waters (1 being the highest ranking and 7 being the lowest ranking). The PIP model estimates the annual nutrient losses from agricultural land at specific locations, using spatial data from farm management, soils and hydrogeology. This model estimates loads at an annual temporal resolution.

The Proposed Housing Development is located in a landscape largely given to urban areas, and domestic dwellings and currently has no Phosphorus or Nitrate ranking.

As noted earlier in Section 3.2, the Proposed Housing Development is within the WFD sub catchment Robe\_SC\_010 WFD. Currently, there are no significant pressures from the Proposed Housing Development Site on this River sub basin.

### 3.3 HABITATS

A site visit was carried out on August 23, 2022 on a cloudy, but dry day. The survey area consisted of the entire site (805m<sup>2</sup>) and proximate adjacent building gables.

Four habitats (according to Fossitt, 2000) were noted with the survey area, namely ED3: Recolonising bare ground, WS1: Scrub, BL1: Stone walls and BL3: Artificial Surfaces. No Annex I habitat occurs within the area of proposed works.

No rare, threatened, or protected species of plants as per the Red Data Book (Curtis and McGough, 1988) were found. No species listed in the Flora Protection Order (2022) were found to be growing within the proposed site of works.

#### ED3: Recolonising Bare Ground

This is the predominant habitat onsite as the majority of the ground onsite has been disturbed and has subsequently been invaded by herbaceous plants. Vegetation cover across this habitat is over 80%. The underlying ground is comprised primarily of soil, gravel, stone and fines.



**Plate 3.4** Recolonising Bare ground (ED3) habitat onsite

Horsetail (*Equisetum* sp.) is a conspicuous plant growing over much of the site to an average height of approximately 35cms. Interspersed plants include Japanese knotweed (*Fallopia japonica*), red clover (*Trifolium pratense*), dandelion (*Taraxacum* spp.), ragwort (*Jacobea vulgaris*), sow thistles (*Sonchus*

spp.), spear thistle (*Cirsium vulgare*), broad-leaved and narrow-leaved plantain (*Plantago major* and *P. lanceolata*), creeping and bulbous buttercup (*Ranunculus repens* and *R. acris*) common figwort (*Scrophularia nodosa*), cow parsley (*Anthriscus sylvestris*), nettle (*Urtica dioica*) and bush vetch (*Vicia sepium*) amongst others.

Grasses are not dominant in this habitat and are largely represented by cock's foot (*Dactylis glomerata*) and Yorkshire fog (*Holcus lanatus*). Individual stands of willowherb (*Epilobium* spp.) are present. Pineapple weed (*Matricaria discoidea*), daisy (*Bellis perennis*), bittercress (*Cardamine* spp.) and coltsfoot (*Tussilago farfara*) also comprise some of the herbaceous component of this habitat where vegetation is less dense.

Creepers in this ED3 habitat include bramble (*Rubus fruticosus* agg.), bindweed (*Calystegia sepium*) and ivy (*Hedera hibernica*). Herb Robert (*Geranium robertianum*) is also spreading over some areas, particularly in stoney/rocky areas. Common spotted orchids (*Dactylorhiza fuchsia*) are dispersed throughout the site, but are few in number.

#### **WS1: Scrub**

Four small areas (maximum 8m wide by 4.5 m long) that can be classified as scrub exist onsite. These areas largely support young trees such as sycamore (*Acer pseudoplatanus*) and willow (*Salix* spp.); maximum height 7m, with a representation of young hawthorn (*Crataegus monogyna*, <1m tall) in a marginal scrub area near the east end. Understorey shrubs in these areas include fuchsia spp. and common snowberry (*Symphoricarpos albus*), both of which are non-native species. Montbretia (*Crocsmia* sp.), another non-native is also onsite. The Montbretia and clustered cabbage plants (*Brassica* sp.) reflect historic gardening practices.

Some of the scrub areas are impenetrable as bramble is utilising the established trees and other woody vegetation to spread. The common cleaver (*Galium aparine*) is present within this habitat with ground ivy also a large contributor to ground cover. Japanese knotweed also exists within these habitats. Fallen tree branches and old railway sleepers in this Ws1 habitat are potentially providing cavities for invertebrates.

#### **Stone walls (BL1) and Building and Artificial Surfaces (BL3)**

Walls are a feature on both the north and south end of the site. The walls represent the end walls of adjacent buildings. The south end walls are plastered and only support overhanging vegetation (ivy) at the central and south west end of the site; there are no other opportunities for vegetation to gain a foothold and therefore these walls are devoid of other plant life. These walls do not feature as a BL1 stone wall habitat, instead, they can be classified as an artificial surface habitat, BL3.

Some of the walls at the north end can be categorised as stone wall features (BL1) as they are old dry stone and mortar walls (Figure 3.5).



**Plate 3.5** Stone wall habitat (BL1) at the north end of the site

The walls are generally in good condition and are either capped with cement or covered by an overhanging galvanized roof.

Ivy dominates the vegetative cover, creeping upward from the ground onsite. Whilst the structure of the mortar and stone walls have reduced opportunities for open niches and the establishment of plants, vegetation has managed to gain a foothold, including ivy-leaved toadflax (*Cymbalaria muralis*). A limited representation of the more primitive ferns, such as the intermediate polypody (*Polypodium interjectum*), Hart's-tongue (*Asplenium scolopendrium*), rustyback fern (*Asplenium ceterach*), and maidenhair spleenwort (*Asplenium trichomanes*) also are present where opportunities are favourable. In the damper and shaded areas of the walls, mosses and other plants cover the stones creating tilth and compost for other plants to gain a substantial foothold and develop. Clusters of the native wall-rue (*Asplenium ruta-muraria*), a short-stemmed fern known from old stone walls are utilising this niche to become established. Exposed areas of the wall also support a variety of lichens. Bramble (*Rubus fruticosus* agg.) is also utilising the wall to spread. Japanese knotweed is rooted close to northern stone and mortar wall and is being sheltered by the vertical walls.

### 3.4 INVASIVE SPECIES

*Fallopia japonica* (Japanese knotweed) an invasive alien species listed on the Third Schedule of the European Communities (Birds and Natural Habitats) Regulations, 2011 (S.I. No. 477 of 2011) Part 1 is present on the Site. In March 2021, the Japanese Knotweed Company noted that 530m<sup>2</sup> of the Site footprint is infested with viable Japanese knotweed rhizome root material. A Japanese Management Plan has been developed for the Site (Appendix B).



#### 4. SCREENING FOR APPROPRIATE ASSESSMENT

This AA Screening examined the likely significant effects of the Proposed Housing Development, either alone or in-combination with other projects or plans on European Sites, that were situated within a Zol, or a distance that has a potential source-pathway-receptor (SPR), both direct and indirect with the Proposed Housing Development.

A total of twelve European Sites, notably 12 SACs and 1 SPA occur within a wider 15km radius of the project site. These are listed in Table 4.1 below:

**Table 4.1:** European Sites within a 15km radius

No.	European Sites within 15km radius	Distance between Proposed Housing Development and European Sites
	<b>SAC</b>	
1	Carrowkeel Turlough SAC (000475)	6.5km
2	River Moy SAC (002298)	7.3km
3	Lough Corrib SAC (000297)	10.9km
4	Balla Turlough SAC (000463)	11.3km
5	Kilglassan/Caheravoostia Turlough Complex SAC (000504)	11.4km
6	Towerhill House SAC (002179)	12.8km
7	Greaghans Turlough SAC (000503)	13.0km
8	Ballinafad SAC (002081)	13.8km
9	Lough Carra/Mask Complex SAC (001774)	13.9km
10	Ardkill Turlough SAC (000461)	13.9km
11	Moore Hall (Lough Carra) SAC (000527)	14.9km
	<b>SPA</b>	
1	Lough Carra SPA (004051)	14.0km

##### 4.1 EUROPEAN SITES WITHIN THE ZONE OF INFLUENCE (ZOI) OF THE PROPOSED HOUSING DEVELOPMENT

The European Sites identified as being within the Proposed Housing Development Zone of Influence (Zol) using the Source Pathway Receptor (SPR) principle, will be assessed to examine the likelihood of significant effects of the Proposed Housing Development either alone or in-combination with other plans or projects, on any European Sites.

The Environmental Protection Agency (EPA) maps were used to identify European Sites that could potentially be located within the Zol and possibly be connected to the project site via pathways. In this instance, given the size and scale of the Proposed Housing Development, the location of the works within an urban setting, a distance of 5km from the Proposed Housing Development has been identified

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as the Zol for any European Site. Other European Sites outside of this distance, but with a hydrological link either upstream or downstream are also considered to be within the Zol for this project.

In relation to mobile species listed as qualifying features of European Sites, the following guidance was used to identify whether it recommends the European Site is located within the Zol of the project:

- SPAs with mobile bird species: "Assessing connectivity with Special Protection Areas (SPAs)" (2016) guidance document was used to identify connectivity between the project site and SPAs in the wider surrounding area (SNH, now Natural Scotland) as applicable.
- SACs with bats as a qualifying feature were included when the project occurred within the core sustenance zone of the qualifying bat population. No SACs occurred within a 5km radius designated for this qualifying feature.
- SACs with marsh fritillary as a qualifying feature are included where suitable marsh fritillary habitat occurs within the project site footprint and where the project site is located within a 10km radius of a marsh fritillary population. As no suitable habitat was detected during the site walkover, no SACs designated for this qualifying feature were included. It is also noted that no SACs occurred within a 10km radius designation for this qualifying feature.

All other European Sites were considered to occur outside of the Zol of the project (hydrological link to be assessed in Section 4.2) and were 'screened out' at this stage. No European Site qualified to be within the Zol in this instance of assessment.

Nonetheless, further investigation of a SPR is assessed in Section 4.2 to confidently determine if there will be any potential effect on any European Site during the proposed construction or operation of the of this project. European Sites closest to the proposed works are outlined in Figures 4.1 and 4.2 and include Carrowkeel Turlough SAC and Lough Carra SPA.

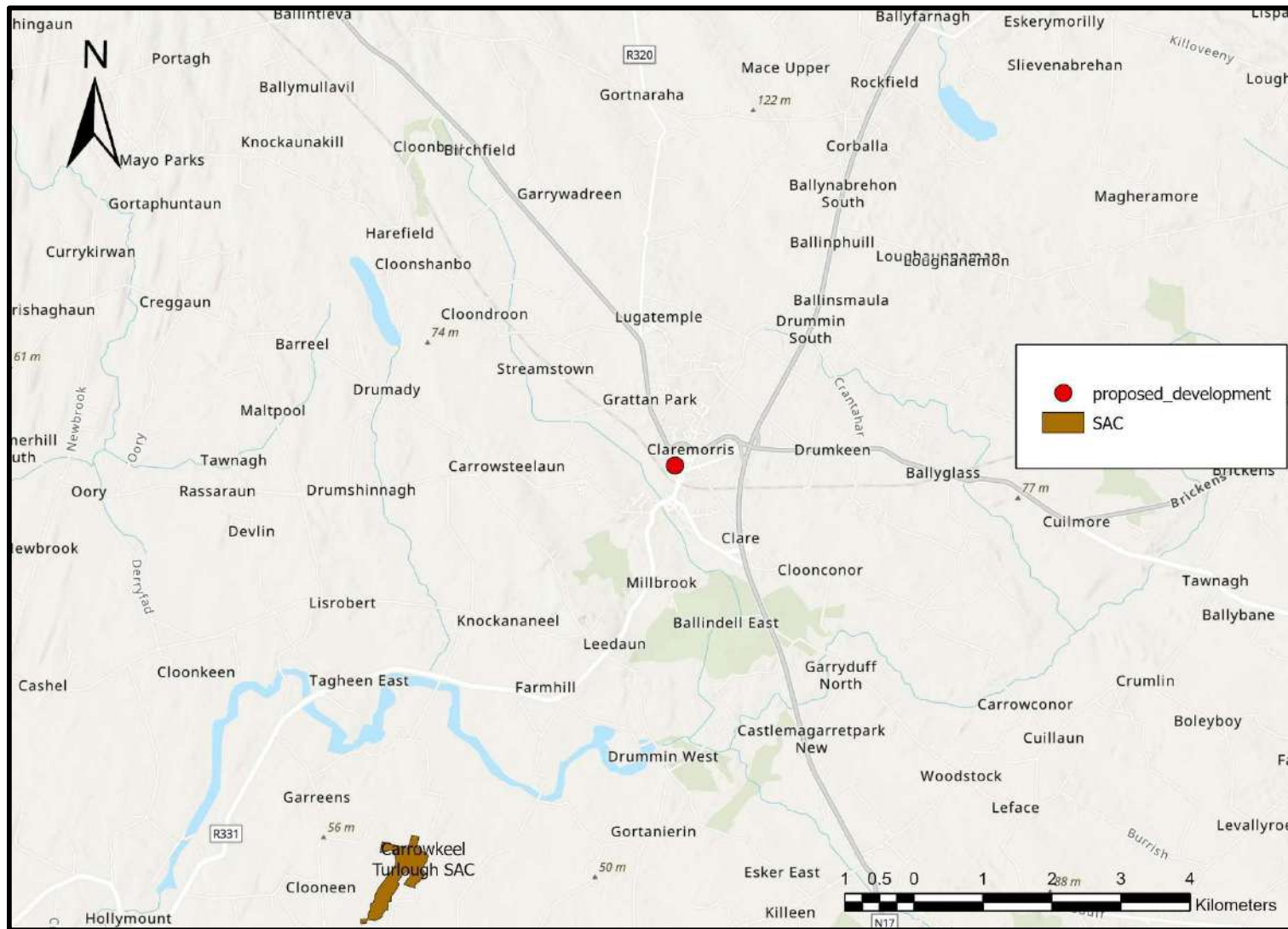


Figure 4.1 Proposed Housing Development showing the closest European Site (SAC).

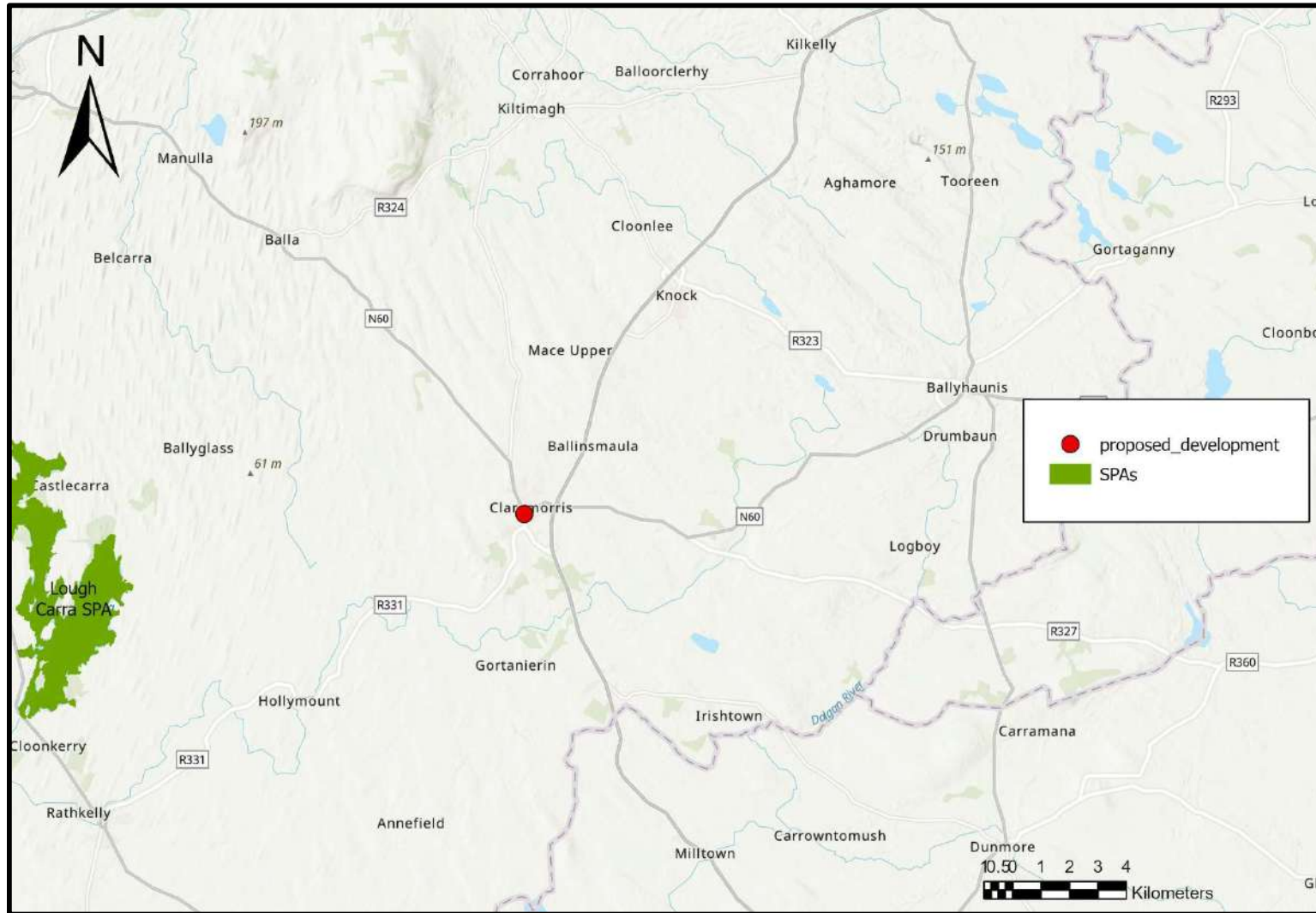


Figure 4.2 Proposed Housing Development showing the closest European Site (SPA).

## 4.2 IDENTIFICATION OF SOURCE PATHWAY RECEPTOR (SPR) MODEL PATHWAYS

Under the SPR model, the works associated with the construction and operation of the Proposed Housing Development represent the source of potential impacts.

Pathways that could arise as a result of project works and lead to offsite/downstream impacts are listed below and an appraisal of these pathways potential to connect this new housing development to European Sites and their qualifying features of interest (which represent the receptors under the SPR model) is also provided:

- Emissions to surface water: There is no potential for a surface water pathway to arise and result in the emissions to the Robe\_020 RSB. As outlined in Section 3.2 above, there are no relevant watercourses or aquatic zones connecting the site of works to this hydrological feature. Works are very localised and will occur within the project site. There is no pathway from the works to any European site via a surface hydrological pathway.
- Emissions to groundwater: The groundwater flood mapping confirmed that the site is not at risk from groundwater flooding with closest historic record of GW flooding to the Proposed Housing Development at approximately 4km. Given that the entirety of bedrock at the proposed work area is of 'Ballymore Limestone Formation' there is little risk of groundwater flooding. In addition, there is no risk of tidal or pluvial flooding at this site.
- Noise and vibration emissions: Given the distance separating the project site from the nearest European Sites and the absence of any mobile qualifying species of European Sites occurring at or relying on the project site, there will be no potential for the project to result in vibration or noise disturbances to European Sites and their qualifying features of interest in the wider surrounding area.
- Emissions to air: The project site will not result in perceptible emissions to air and no air emission pathway will connect the works to European Sites and their qualifying features of interest in the wider surrounding area.
- Light emissions: The project site is located within the urban area of Claremorris town. Project works will only be carried out during daylight hours. Bat species are not a qualifying feature of the European Sites within 10km of the Development and will therefore have no impact from any lighting issue as a result of this project during construction or operation.
- Visual emissions: The project works are not predicted to have the potential to result in visual emissions that could generate disturbance to qualifying species of any European Sites.
- Mobile Species Pathway: Project works that are located outside of European Sites can impact mobile qualifying species of European Sites if species rely on habitats occurring within the project site. No Annex 2 or bird species listed as qualifying features of surrounding European Sites rely on the project site. As such there is no mobile species pathway connecting the project to European Sites.
- Human disturbance pathway: Human disturbance, to a European Site can occur as an indirect impact arising as a result of land use activities generated by a project. An example of such an indirect impact is an increase in human presence and associated pressures within a European Site. The potential for a human disturbance pathway, through which a proposed development

could generate activity within European Sites and result in disturbance to qualifying habitats or species is also identified as a potential pathway requiring examination. Given that the nature of the project which will involve activity on an existing site within Claremorris town and will not involve any perceptible changes to human land use patterns and activities as a result of the project, there will be no potential for the project to result in human disturbance to European Sites and their qualifying features.

- Emissions during operation: The Site is located within an urban setting. There will be no emissions that will impact any QI or species of SCI within the Zone of Influence during operation. There will be no added hardcore to the project site post construction. Surface water run-off will remain the same.

In light of the above assessment, no SPR pathways have been identified between the Proposed Housing Development and any designated European Site during construction or operation.

## 5. IN-COMBINATION EFFECTS

### Planning Permission Applications

While effects on European Sites were not expected as a result of the construction and operation of the Proposed Housing Development, the potential for cumulative effects on these designated sites due to other plans and projects acting in-combination with the Development were considered. The Mayo County Council on-line planning application portal was used to search planning applications close to the Proposed Housing Development. A five-year search timeframe was assessed. Retention, refused and withdrawn planning applications were excluded. **Table 5.1** shows the planning applications in close proximity to the Proposed Housing Development (circa 1000m).

**Table 5.1** Planning applications in close proximity to the Proposed Housing Development.

Planning Reference	Description of Development	Site Address	Decision Date	Distance from Site
18350	Alterations to existing planning permission p17/979 to consist of alterations to previously approved roofed garden display area (to replace existing roofed garden display area) together with alterations to previously approved car parking layout, construction of a storage building and fencing together with all ancillary site works and site services	Mount Street, Claremorris, Co. Mayo	07/10/2018	approx. 46 metres from proposed development
17979	Extension to existing storage building, replacement of existing garden tunnels, carpark, new entrance access onto public road, including all ancillary site works and site services, together with retention permission for development consisting of ground works commenced on site	Mount St, Claremorris, Co. Mayo	13/02/2018	approx. 46 metres from proposed development
19121	Retention and permission for amendments to existing apartments, previous ref. No. P91/203 and p98/66	Mount Street, Claremorris, Co. Mayo	13/08/2019	approx. 19 metres from proposed development
1894	Change of use of partial existing unit from office purposes	Dalton Street, Claremorris,	09/07/2018	approx. 157 metres from

Planning Reference	Description of Development	Site Address	Decision Date	Distance from Site
	(previously granted under p96/988) to residential purposes (1 no. Apartment), together with all ancillary site works and services	Co. Mayo		proposed development
20886	Retain on site facilities security fencing and storage container and to construct a roofed ambulance shelter, together with all ancillary site works and services	Convent Road, Claremorris, Co. Mayo	18/01/2021	approx. 271 metres from proposed development
19213	Change of use of existing first floor unit 8 from existing office use to proposed medical use and all associated site works and services	Unit 8 First Floor, Silverbridge Plaza, Kilcolman Road, Co. Mayo	17/05/2019	approx. 316 metres from proposed development
171046	Demolition of 2 no. Portacabin rooms, existing store and boiler room, change of use from health centre to dwelling house, construction of rear extensions to the existing structure, facade alterations to include new roof, wall, window and door finishes, together with all associated landscaping, site works and services	Claremorris Health Centre, Knock Road, Claremorris, Co. Mayo	21/03/2018	approx. 436 metres from proposed development
18748	Proposed new single storey 21sqm glazed entrance lobby to the front of the existing store with sloped roof over to match existing and associated site works	Inner Relief Road, Claremorris, Co. Mayo	21/11/2018	approx. 315 metres from proposed development
20786	Construct a new indoor tennis court and replace existing boundary fence, together with all ancillary site works and services	Clare, Claremorris, Co. Mayo	15/12/2020	approx. 296 metres from proposed development
19957	Permission sought to amalgamate 2. no existing	1-2 Greencourt Buildings,	10/02/2020	approx. 287 metres from



Planning Reference	Description of Development	Site Address	Decision Date	Distance from Site
	commercial units, construct new extension to rear, new signage and façade to front elevation and associated site works	Ballyhaunis Road, Claremorris, Co. Mayo		proposed development
171020	A discount retail store (2264sqm gross floor area of which 1472sqm is net retail sales area including ancillary off licence area), car parking, service yard, plant, building mounted and freestanding signage, bicycle parking, hard and soft landscaping, boundary treatments, connection to existing services a new access off chapel lane and all associated site and development works	Clare, Claremorris, Co. Mayo	08/06/2018	approx. 425 metres from proposed development
17802	Convert existing dwelling house to 2 no. two bedroom apartments, together with all ancillary site works and services	No. 1 James Street, Claremorris, Co. Mayo	25/01/2018	approx. 425 metres from proposed development
19541	Demolition of existing dwelling house and ancillary sheds and the construction of a proposed new detached dwelling house, separate garage, widening of existing entrance, new boundary treatments, connection to public sewerage system, connection to site services, and all associated site works and landscaping	Ballindine Road, Clare, Claremorris, Co. Mayo	27/08/2019	approx. 568 metres from proposed development
18137	Replace existing signage and erection of stone facade, together with all ancillary site works and services	Lower James Street, Claremorris, Co. Mayo	24/04/2018	approx. 591 metres from proposed development
19524	Construct extension to dwelling house comprising of first floor extension to dwellinghouse and	3 ard Clare, Clare, Claremorris, Co. Mayo	29/08/2019	approx. 579 metres from

Planning Reference	Description of Development	Site Address	Decision Date	Distance from Site
	attached garage on ground floor with all ancillary site works and services			proposed development
19710	Construct extension at first floor level over part of existing single storey industrial unit and establish use of said extension and that of corresponding part of ground floor underneath as ancillary office use with staff facilities and circulation space, together with the necessary structural alterations and changes to elevations and all ancillary site works and services	Unit 12 Clar Industrial Estate, Clare, Claremorris, Co. Mayo	01/11/2019	approx. 740 metres from proposed development
17890	Construction of extension to existing car parking area. Will comprise of an additional 160 car parking spaces, vehicular and pedestrian access, footpaths, security barrier, landscaping, boundary fence, alterations to existing car parking area with all associated siteworks and services	McWilliam Park Hotel, Claremorris, Co. Mayo	06/03/2018	approx. 966 metres from proposed development
2296	Single storey extension to existing dwelling house and relocate existing entrance gate	Convent Road, Claremount, Claremorris, Co. Mayo	05/05/2022	approx. 970 metres from proposed development

There were no other planning applications in the area at the time of writing. The AA Screening assessment has shown there will be no likely significant effects to any European Site during the construction or operations phases of the Proposed Housing Development. Therefore, there will be no in-combination effects with local planning applications.

## 6. SCREENING ASSESSMENT – CONCLUSION

It can be objectively concluded that there are not likely to be significant effects on any European Site as a result of the Proposed Housing Development at Claremorris, Co. Mayo. Therefore, an Appropriate Assessment is not required.

---

## 7. REFERENCES

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Scott Wilson, Levett-Therivel Sustainability Consultants, Treweek Environmental Consultants and Land Use Consultants (2006) Appropriate Assessment of Plans.

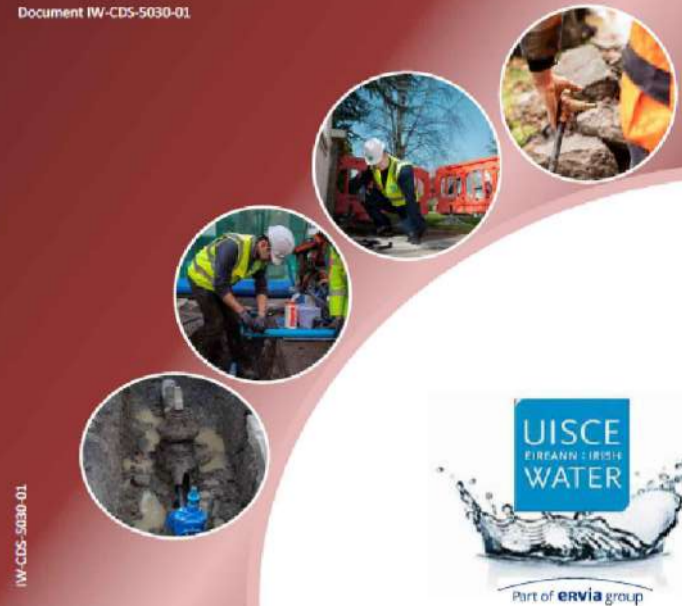
Smal, C. 2008. Guidelines for the treatment of otters prior to the construction of national road schemes. Available online at: <http://www.tii.ie/tii-library/environment/construction-guidelines/Guidelines-for-the-Treatment-of-Otters-prior-to-the-Construction-of-National-Road-Schemes.pdf>

**APPENDIX A**

**DRAWINGS**

**Wastewater Infrastructure Standard Details**

Connections and Developer Services  
 Design and Construction Requirements for Self-Lay Developments  
 July 2020 (Revision 4)  
 Document No. CDS-5030-03



**NOTE: CONTRACTOR IS TO REFER TO REVISION 4 OF THE IRISH WATER STANDARD DETAILS DATED JULY 2020 FOR WASTEWATER INFRASTRUCTURE DETAILS. THIS BOOKLET HAS BEEN INCLUDED IN PART OF THE CIVIL/STRUCTURAL PACKAGE.**

**NOTES:-**

ALL WORKS TO BE CARRIED OUT TO IRISH WATER CODE OF PRACTICE DOCUMENT CDS-5030-03

FOUL WASTE WATER LAYOUT TO BE INSTALLED IN ACCORDANCE WITH IRISH WATER STANDARD DETAIL STD-WW-02 REGARDING GENERAL LAYOUT.

ALL FOUL WASTEWATER DRAINAGE PIPE WORK, INCLUDING SERVICE CONNECTIONS TO COMPLY WITH SECTION 3.6 OF I.W. CODE OF PRACTICE REGARDING PIPE WORK GRADIENTS.

ALL FOUL WASTEWATER PIPE WORK MATERIAL TO COMPLY WITH SECTION 3.13 OF THE IRISH WATER CODE OF PRACTICE.

ALL MANHOLES TO BE CONSTRUCTED IN ACCORDANCE WITH I.W. STD-WW-10 and I.W. STD-WW-12.

WHERE FOUL AND SURFACE WATER MANHOLES AREA ADJACENT THEIR POSITIONS SHOULD BE STAGGERED TO ALLOW FOR CROSSING OVER OF SEWERS AS PER SECTION 3.5.13 OF I.W. CODE OF PRACTICE.

WHERE 0.3m SEPERATION DISTANCE CANNOT BE ACHIEVED BETWEEN FOUL AND STORM PIPES, THE PIPES SHALL BE SURROUNDED IN LEAN MIX CONCRETE.

ALL WASTEWATER PIPE WORK SHALL BE INSTALLED IN ACCORDANCE WITH I.W. STD-WW-05, STD-WW-06, AND STD-WW-06A REGARDING SEPERATION DISTANCES.WHERE SEPERATION DISTANCES CANNOT BE ACHIEVED, PIPES SHALL BE SURROUND IN LEAN MIX CONCRETE.

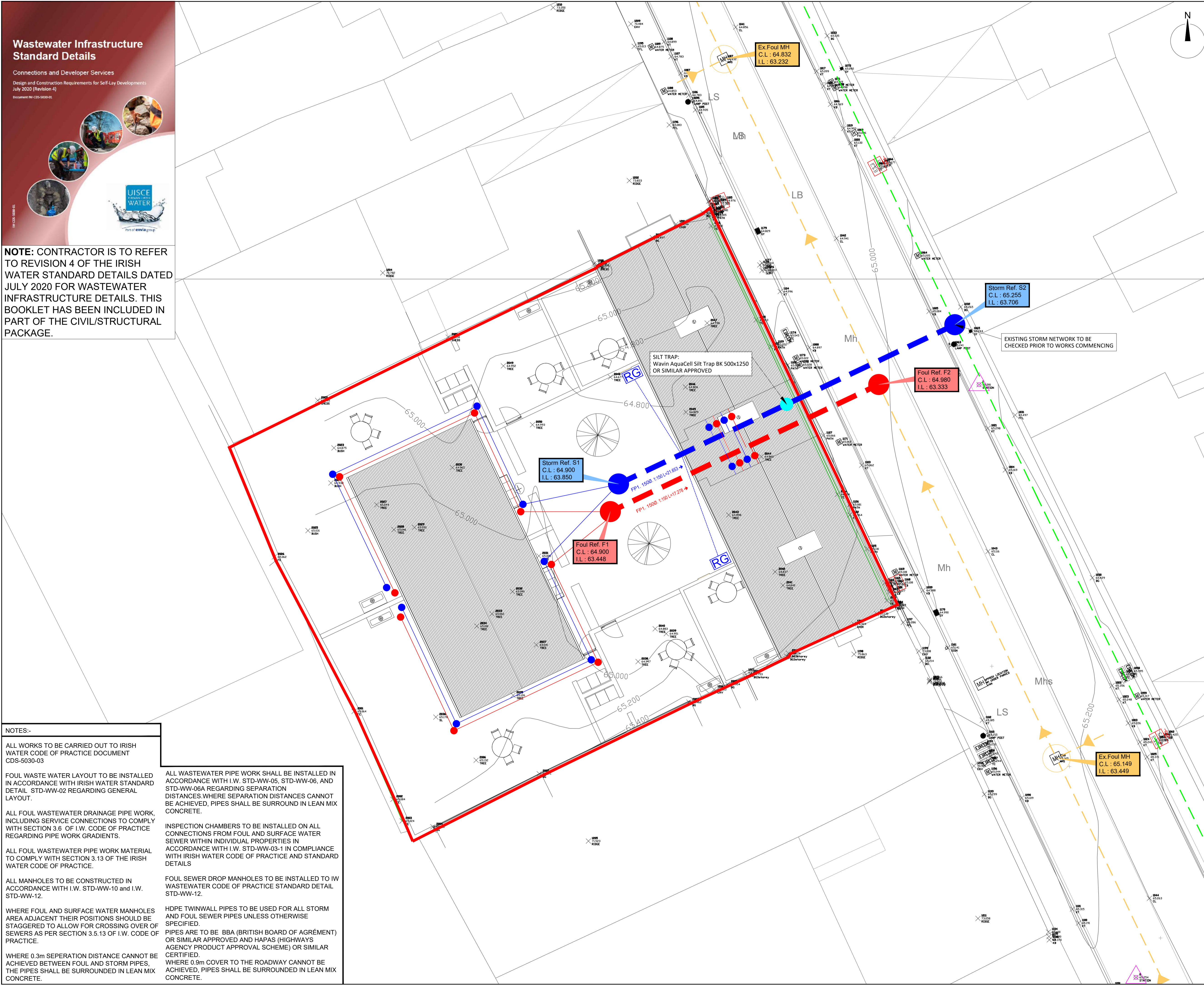
INSPECTION CHAMBERS TO BE INSTALLED ON ALL CONNECTIONS FROM FOUL AND SURFACE WATER SEWER WITHIN INDIVIDUAL PROPERTIES IN ACCORDANCE WITH I.W. STD-WW-03-1 IN COMPLIANCE WITH IRISH WATER CODE OF PRACTICE AND STANDARD DETAILS

FOUL SEWER DROP MANHOLES TO BE INSTALLED TO IW WASTEWATER CODE OF PRACTICE STANDARD DETAIL STD-WW-12.

HDPE TWINWALL PIPES TO BE USED FOR ALL STORM AND FOUL SEWER PIPES UNLESS OTHERWISE SPECIFIED.

PIPES ARE TO BE BBA (BRITISH BOARD OF AGRÉMENT) OR SIMILAR APPROVED AND HAPAS (HIGHWAYS AGENCY PRODUCT APPROVAL SCHEME) OR SIMILAR CERTIFIED.

WHERE 0.9m COVER TO THE ROADWAY CANNOT BE ACHIEVED, PIPES SHALL BE SURROUNDED IN LEAN MIX CONCRETE.



**NOTES**

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- THE CONTRACTOR SHALL UNDERTAKE A THOROUGH CHECK FOR THE ACTUAL LOCATION OF ALL SERVICES/UTILITIES, ABOVE AND BELOW GROUND, BEFORE ANY WORK COMMENCES
- ALL LEVELS SHOWN RELATE TO ORDINANCE SURVEY DATUM AT MALIN HEAD
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO VERIFY THE ACCURACY OF THIS PROPOSAL TO THE ENGINEER AND ALLOW FOR MINOR CORRECTIONS AS DEEMED NECESSARY WITH A REASONABLE TIMEFRAME.

**LEGEND**

SITE BOUNDARY shown thus	
PROPOSED STORM MANHOLE shown thus	
PROPOSED STORM WATER NETWORK shown thus	
PROPOSED FOUL MANHOLE shown thus	
PROPOSED FOUL NETWORK shown thus	
PROPOSED SURFACE WATER CONNECTIONS shown thus	
PROPOSED FOUL WATER CONNECTIONS shown thus	
PROPOSED ROAD GULLIES shown thus	
EXISTING FOUL MANHOLE shown thus	
EXISTING 225mm Ø FOUL NETWORK shown thus	
EXISTING 250mm Ø STORM NETWORK shown thus (LOCATION TBC)	

**DRAFT**

Site Area:-  
 792 m<sup>2</sup>, 0.1957 Acres, 0.0792 Hectares  
 ITM Co-Ordinates of site:-  
 533993, 775103  
 Ordnance Survey Ireland Licence No. CYAL50244098  
 © Ordnance Survey Ireland/Government of Ireland.  
 OS Sheet No. 2275

D.01	Issued for Discussion	AP	MF	06.07.22
rev.	modifications	by	chkd	date
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client Comhairle Contae Mhaigh Eo Mayo County Council

project  
**PROPOSED DEVELOPMENT AT MOUNT STREET, CLAREMORRIS, CO. MAYO**

stage  
**DRAFT**

title  
**FOUL & STORM SITE LAYOUT PLAN**

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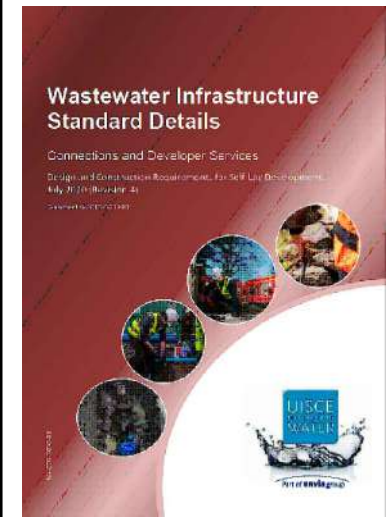
surveyed	drawn	checked	date
JOD	AP	MF	July 2022

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 Email: info@jodireland.com

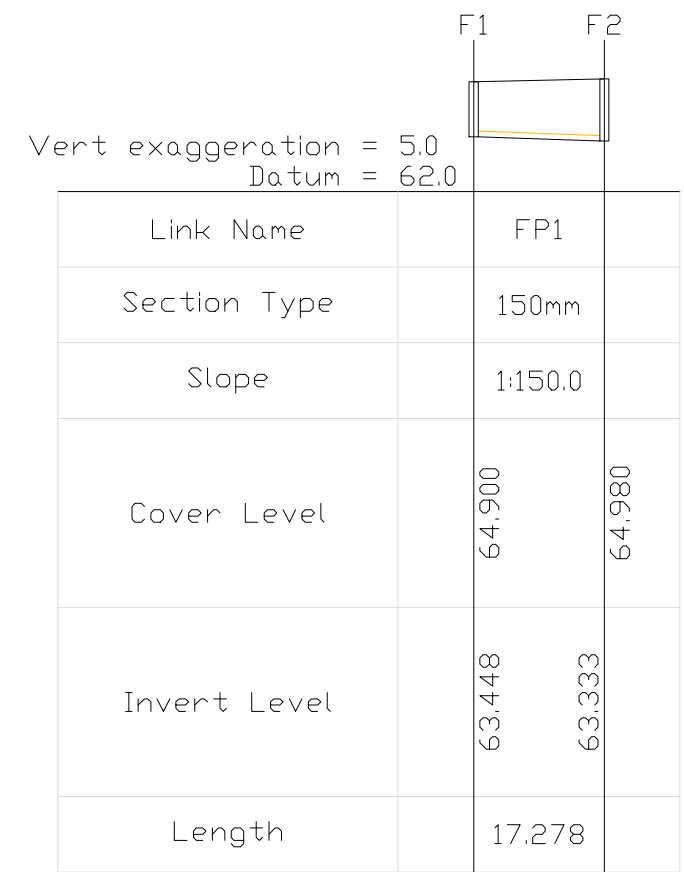
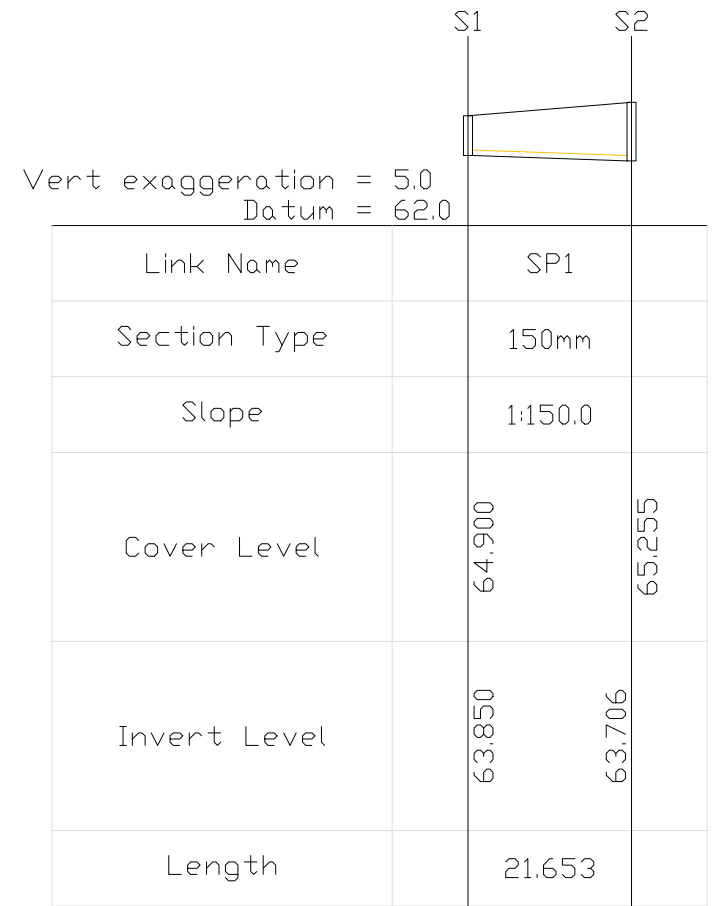
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NOTES

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  3. THE CONTRACTOR SHALL UNDERTAKE A THOROUGH CHECK FOR THE ACTUAL LOCATION OF ALL SERVICES/UTILITIES, ABOVE AND BELOW GROUND, BEFORE ANY WORK COMMENCES
  4. ALL LEVELS SHOWN RELATE TO ORDNANCE SURVEY DATUM AT MALIN HEAD
  5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO VERIFY THE ACCURACY OF THIS PROPOSAL TO THE ENGINEER AND ALLOW FOR MINOR CORRECTIONS AS DEEMED NECESSARY WITH A REASONABLE TIMEFRAME.



**NOTE:** CONTRACTOR IS TO REFER TO REVISION 4 OF THE IRISH WATER STANDARD DETAILS DATED JULY 2020 FOR WASTEWATER INFRASTRUCTURE DETAILS.



D.01	Issued for Discussion	AP	MF	06.07.22
rev.	modifications	by	chkd	date
Layout Ref.:				
file	P:\jod-jobs\6674 Mount St Hsing\700 Drawings\703 Planning\01 WIP\6674-JOD-XX-ZZ-DR-C-200-001-002 Foul & Storm Site Layout Plan.dwg			

client Comhairle Contae Mhaigh Eo  
Mayo County Council

project  
PROPOSED DEVELOPMENT AT MOUNT STREET, CLAREMORRIS, CO. MAYO

stage  
DRAFT

title  
PROPOSED FOUL AND STORM SEWER SECTIONS

scale  
HORIZ: 1:1000, VERT: 1:200 @ A3

surveyed	drawn	checked	date
	AP	MF	July 2022

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Email: info@jodireland.com

drawing no.	6674-JOD-XX-ZZ-DR-C-600-002	revision	D.01
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# Water Infrastructure Standard Details

Connections and Developer Services

Construction Requirements for Self-Lay Developments

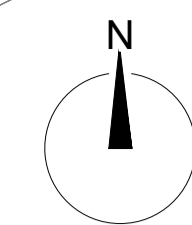
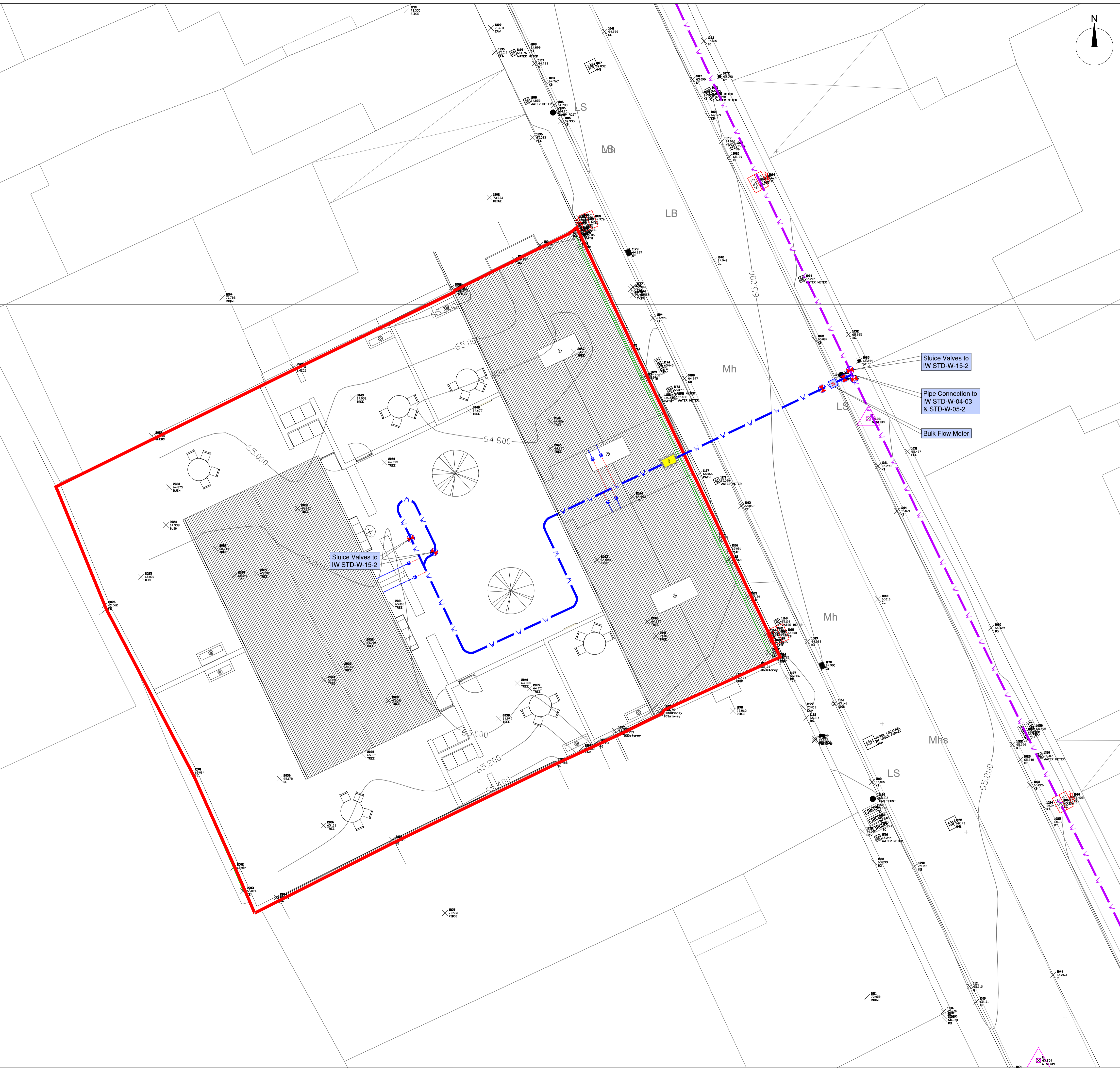
July 2020 (Revision 4)

Document IW-CDS-5020-03



**NOTE: CONTRACTOR IS TO REFER TO REVISION 4 OF THE IRISH WATER STANDARD DETAILS DATED JULY 2020 FOR WATER INFRASTRUCTURE DETAILS. THIS BOOKLET HAS BEEN INCLUDED AS PART OF THE CIVIL/STRUCTURAL PACKAGE.**

- NOTES:-
- ALL WATER BOUNDARY BOXES TO BE IN COMPLIANCE WITH IRISH WATER CODE OF PRACTICE AND STANDARD DETAILS
  - WATER MAINS LAYOUT TO BE INSTALLED IN ACCORDANCE WITH IRISH WATER STANDARD DETAIL STD-W-02 REGARDING GENERAL LAYOUT
  - WATER MAINS LAYOUT TO BE INSTALLED IN ACCORDANCE WITH IRISH WATER STANDARD DETAIL STD-W-11, STD-W-12 AND STD-W-12A REGARDING SEPARATION DISTANCES
  - ALL WORKS TO BE CARRIED OUT TO IRISH WATER CODE OF PRACTICE DOCUMENT IW-CDS-5020.03
  - SCOUR VALVES TO COMPLY WITH STD-W-30



## NOTES

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  - THE CONTRACTOR SHALL UNDERTAKE A THOROUGH CHECK FOR THE ACTUAL LOCATION OF ALL SERVICES/UTILITIES, ABOVE AND BELOW GROUND, BEFORE ANY WORK COMMENCES.
  - ALL LEVELS SHOWN RELATE TO ORDNANCE SURVEY DATUM AT MALIN HEAD.
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO VERIFY THE ACCURACY OF THIS PROPOSAL TO THE ENGINEER AND ALLOW FOR MINOR CORRECTIONS AS DEEMED NECESSARY WITH A REASONABLE TIMEFRAME.

## LEGEND

- SITE BOUNDARY shown thus
- WATERMAIN SUPPLY Ø 110mm OUTSIDE DIAMETER PE100 JDR1. PIPE MATERIAL SHALL BE IN COMPLIANCE WITH IRISH WATER SECTION 3.9 OF THE CODE OF PRACTICE.
- PROPOSED WATER SUPPLY CONNECTION WITH BOUNDARY BOX TO I.W. STD-W-03 shown thus
- FIRE HYDRANT TO I.W. STD-W-18/19 shown thus (1 No. Hyd)
- SLUICE VALVE TO I.W. STD-W-15-2 shown thus (6 No. SV's)
- BULK FLOW METER To Incl. Kiosk to STD-W-36 AND METER CHAMBER TO STD-W-26 shown thus
- EXISTING 250mm uPVC WATERMAIN

# DRAFT

Site Area:-  
792 m<sup>2</sup>, 0.1957 Hectares  
ITM Co-Ordinates of site:-  
533993, 775103  
Ordnance Survey Ireland Licence No. CYAL50244098  
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OS Sheet No. 2275

D.01	Issued for Discussion	AP	MF	06.07.22
rev.	modifications	by	chkd	date
Layout Ref.:	file P:\Jod-jobs\6674 Mount St Hsing\700 Drawings\703 Planning\01 WIP\6674-JOD-XX-ZZ-DR-C-200-003 Watermain Site Layout Plan.dwg			

client Comhairle Contae Mhaigh Eo Mayo County Council

project  
PROPOSED DEVELOPMENT AT MOUNT STREET, CLAREMORRIS, CO. MAYO

stage  
DRAFT

title  
WATERMAIN SITE LAYOUT PLAN

scale  
1:100 @ A1

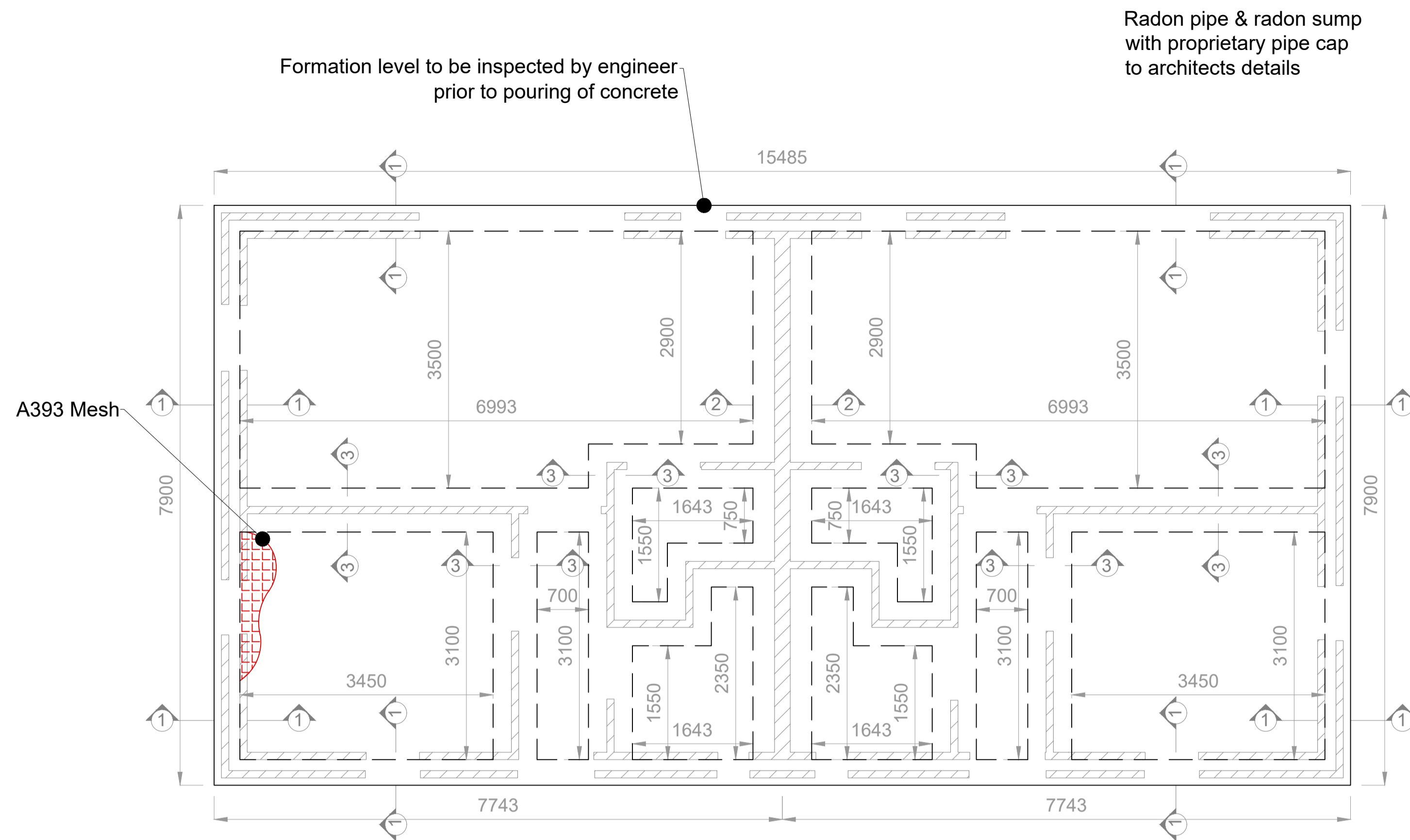
surveyed	drawn	checked	date
JOD	AP	MF	July 2022

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Email: info@jodireland.com

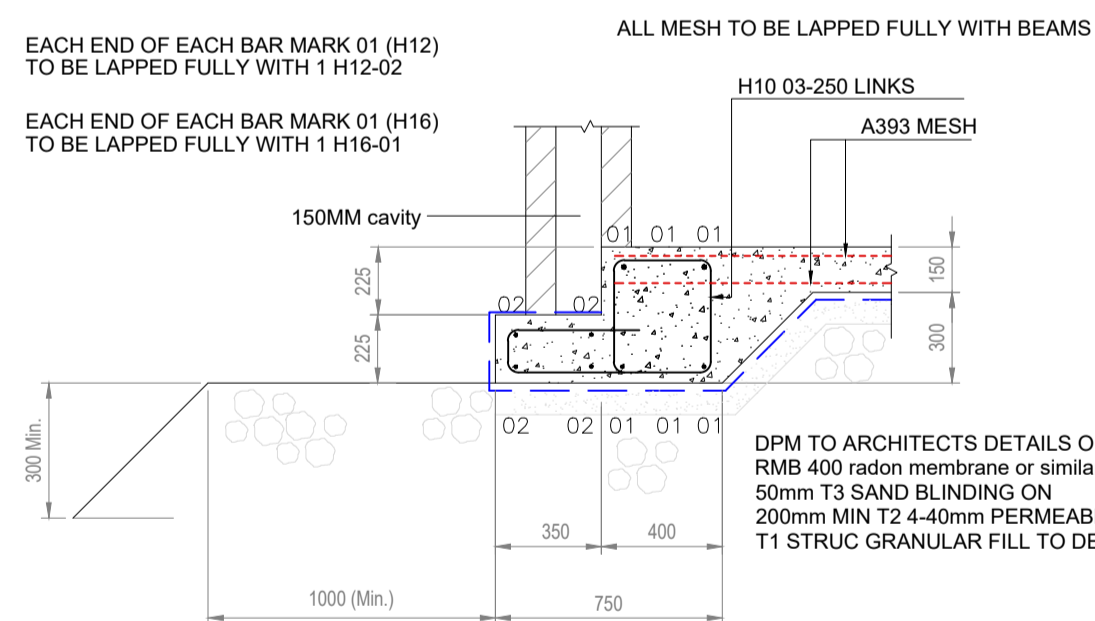


drawing no.	revision
6674-JOD-XX-ZZ-DR-C-200-003	D.01

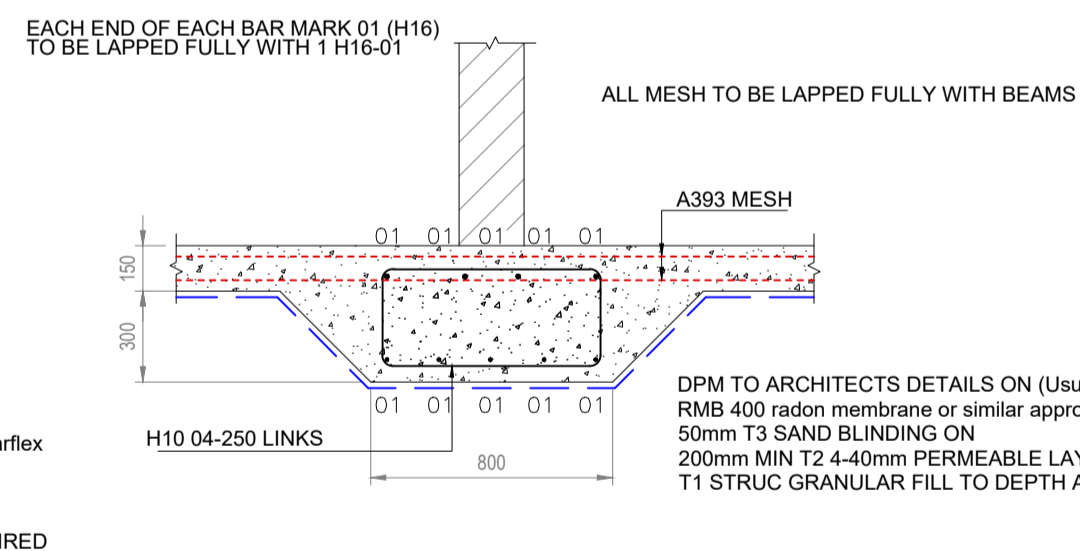




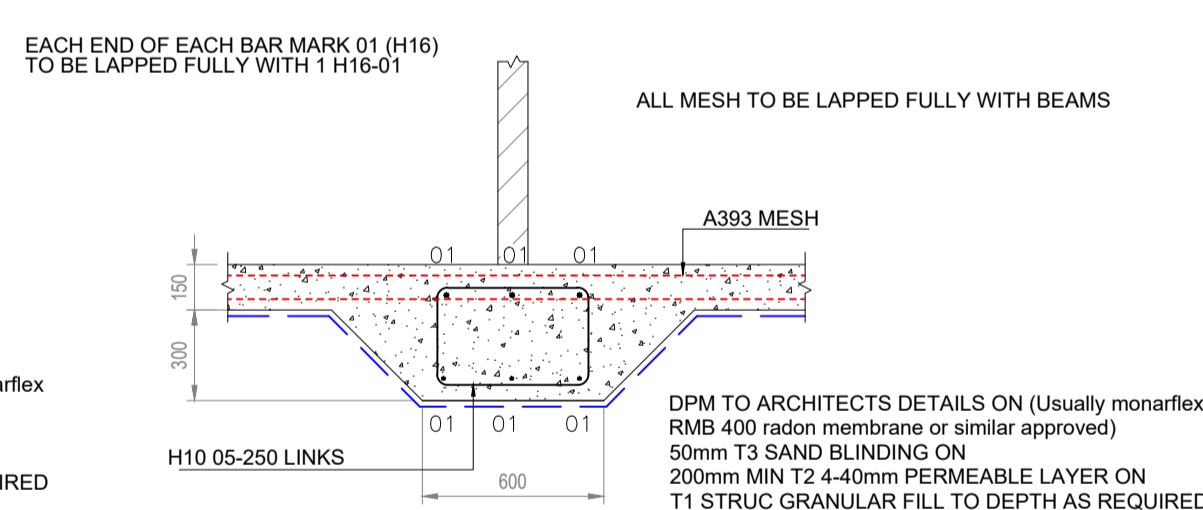
Foundation Plan - House Site A  
Scale 1:50 @ A1



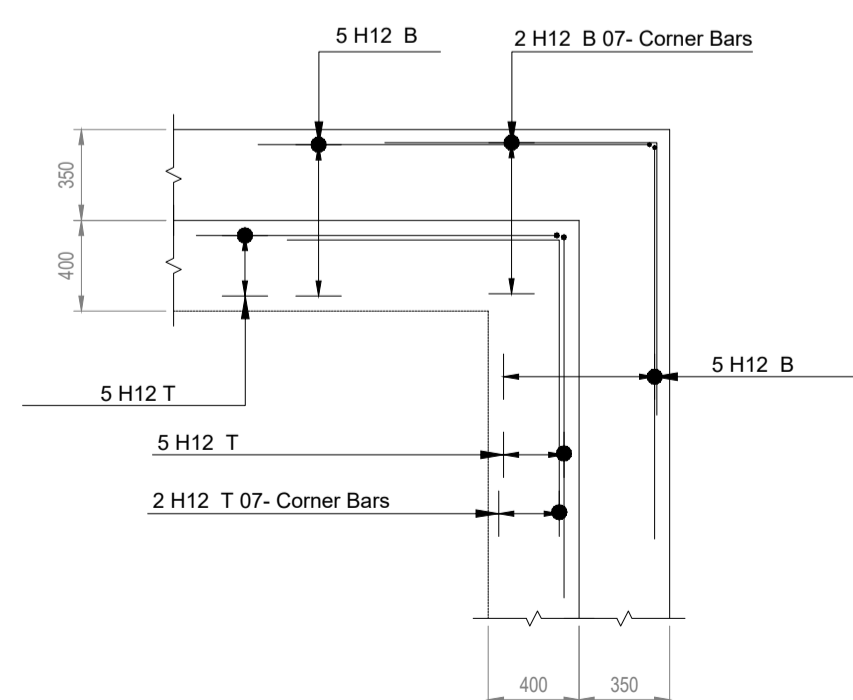
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Scale 1:25 @ A1



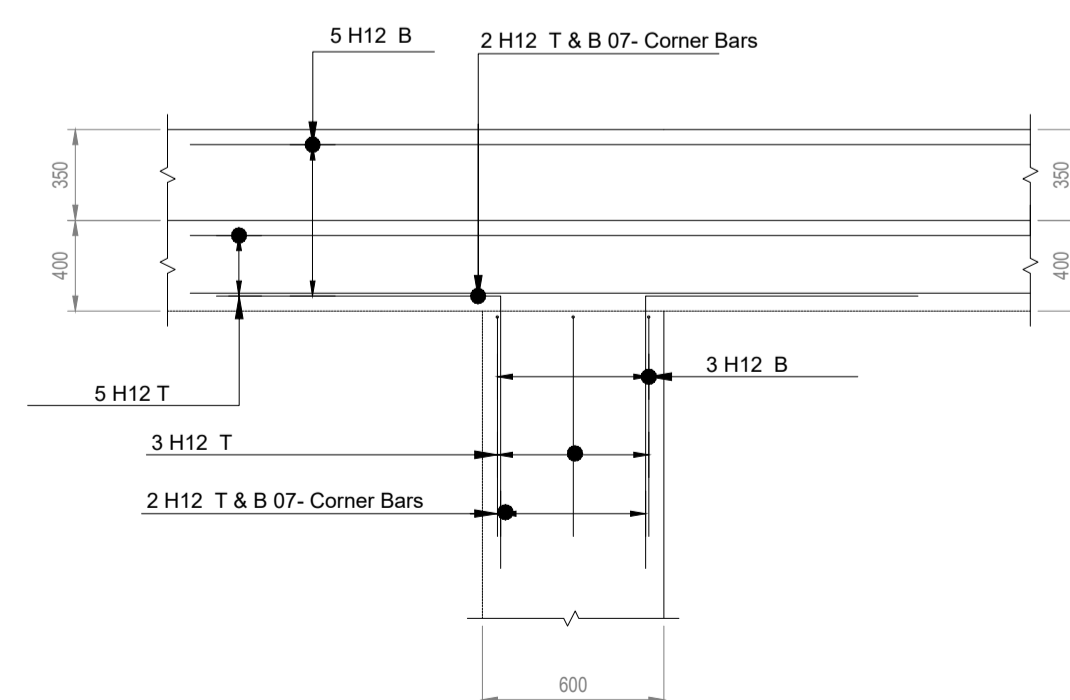
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Scale 1:25 @ A1



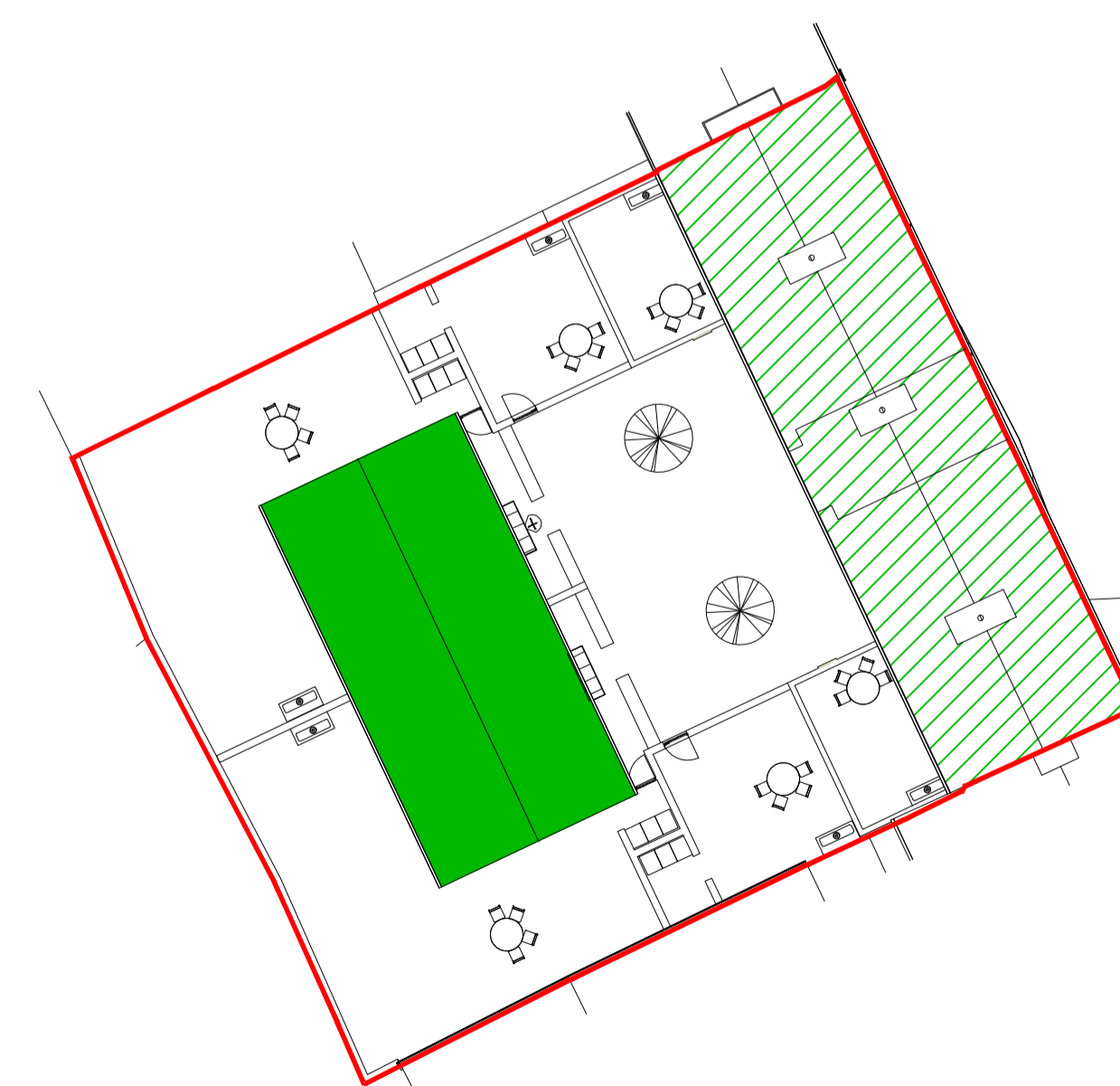
A3 Section 3-3  
Scale 1:25 @ A1



A4 Section  
Scale 1:25 @ A1  
TYPICAL CORNER DETAIL



A5 Section  
Scale 1:25 @ A1  
TYPICAL INTERNAL CAGE CONNECTION DETAIL



KEY PLAN Scale 1:250

**NOTES cont'd**

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**MASONRY:**

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2. FOR MASONRY CONSTRUCTION DURING FROST WEATHER REFER TO SPECIFICATION AND PROVISIONS OF BS 5628
3. FOR CAVITIES, 150MM WIDE, PROVIDE S/S DOUBLE TRIANGLE TYPE WALL TIES. TO IS EN 845 2003 + A1: 2008 @ 450C/C VERTICALLY AND @ 450C/C HORIZONTALLY. PROVIDE TIES @ 225C/C (MAX) VERTICALLY TO JAMS OF ALL OPES. MINIMUM EMBEDMENT=50MM.
4. AT ALL BLOCKWORK/CONCRETE INTERFACES PROVIDE ABBEY SLOTS @ 225MM CRS VERTICALLY.
5. PROVIDE CONTROL JOINTS IN MASONRY AT 6M MAX CRS. LOCATION OF JOINTS TO BE AGREED WITH ARCHITECT AND ENGINEER.
6. PRESTRESSED CONCRETE COMPOSITE LINTELS TO BE LAID ROUGH SIDE UP WITH 150mm BEARING FOR SPANS LESS THAN 1.5m AND WITH 200mm BEARING FOR SPANS UP TO 2.0m. PROPPING TO REMAIN IN PLACE UNTIL MORTAR HAS CURED. PROPS TO BE @ 1.2m CRS. MAX.
7. ALLOW FOR BRICKFORCE REINFORCEMENT, IN ALL STRUCTURAL WALLS AND FOR 2ND COURSES ABOVE AND BELOW OPES
8. ALL CHASE LOCATIONS TO BE AGREED WITH STRUCTURAL ENGINEER ONSITE

**NOTES**

**FOUNDATION TYPE AND FOUNDATION DIMENSIONS ARE SUBJECT TO ENGINEERS REQUIREMENTS FOLLOWING DETAILED SITE INVESTIGATIONS**

**FORMATION LEVEL TO BE INSPECTED BY ENGINEER PRIOR TO POURING OF CONCRETE. CONTRACTOR TO GIVE ENGINEER 5 DAYS NOTICE FOR INSPECTION PRIOR TO INVESTIGATIONS POUR**

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PYRITE TESTING TO BE CARRIED OUT FROM SITE SAMPLES IN ACCORDANCE WITH I.S. 398-1:2017.

**CONCRETE:**

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3. ALL CONCRETE SHALL BE DESIGNED FOR EXPOSURE CLASSES XC2, XC4, XD1, XF3 AND XA1 IN ACCORDANCE WITH IS EN 206 PART 1
4. CONSTRUCTION JOINTS (LOCATIONS TO BE AGREED WITH THE ENGINEER) AFTER SETTING AND PRIOR TO HARDENING OF CONCRETE, THE SURFACE OF THE JOINT SHALL BE SPRAYED WITH WATER AND BRUSHED TO REMOVE THE OUTER SKIN EXPOSING BUT NOT DISTURBING THE LARGER AGGREGATE
5. MINIMUM COVER TO REINFORCEMENT TO BE 45mm UNLESS OTHERWISE NOTED.
6. MINIMUM LAPS TO REINFORCEMENT MESH=400. B10 - 500; B12 - 600; B16 - 800; B20 - 1000; B25 - 1250; B32 - 1600
7. NOTATION: T, TOP B, BOTTOM N.F. NEAR FACE F.F. FAR FACE A.B.R. ALTERNATE BARS REVERSED sq. STAGGERED E.F. EACH FACE O.F. OUTER FACE I.F. INNER FACE.

**DRAFT**

**LEGEND**

DRAWING TO BE READ IN CONJUNCTION WITH CIVIL/STRUCTURAL SPECIFICATION

**NOTE:**

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**NOTE:** LINTELS TO BE PROVIDED OVER ALL SERVICES I.E. ESB, TV & PHONE BOXES IN EXTERNAL WALLS.

D.01	Issued for Discussion	AP	01.07.22
rev.	modifications	by	chkd date

Layout Ref.:  
file: P:\Jobs\6674 Mount St Hingst 700 Drawings\703 Planning\01 WIP\6674-JOD-XX-ZZ-DR-S-700-5000 GA Foundations HT - Raft.dwg

**client**  
Comhairle Contae Mhaigh Eo  
Mayo County Council

**project**  
PROPOSED DEVELOPMENT AT  
MOUNT STREET, CLAREMORRIS,  
CO. MAYO

**stage**  
DRAFT

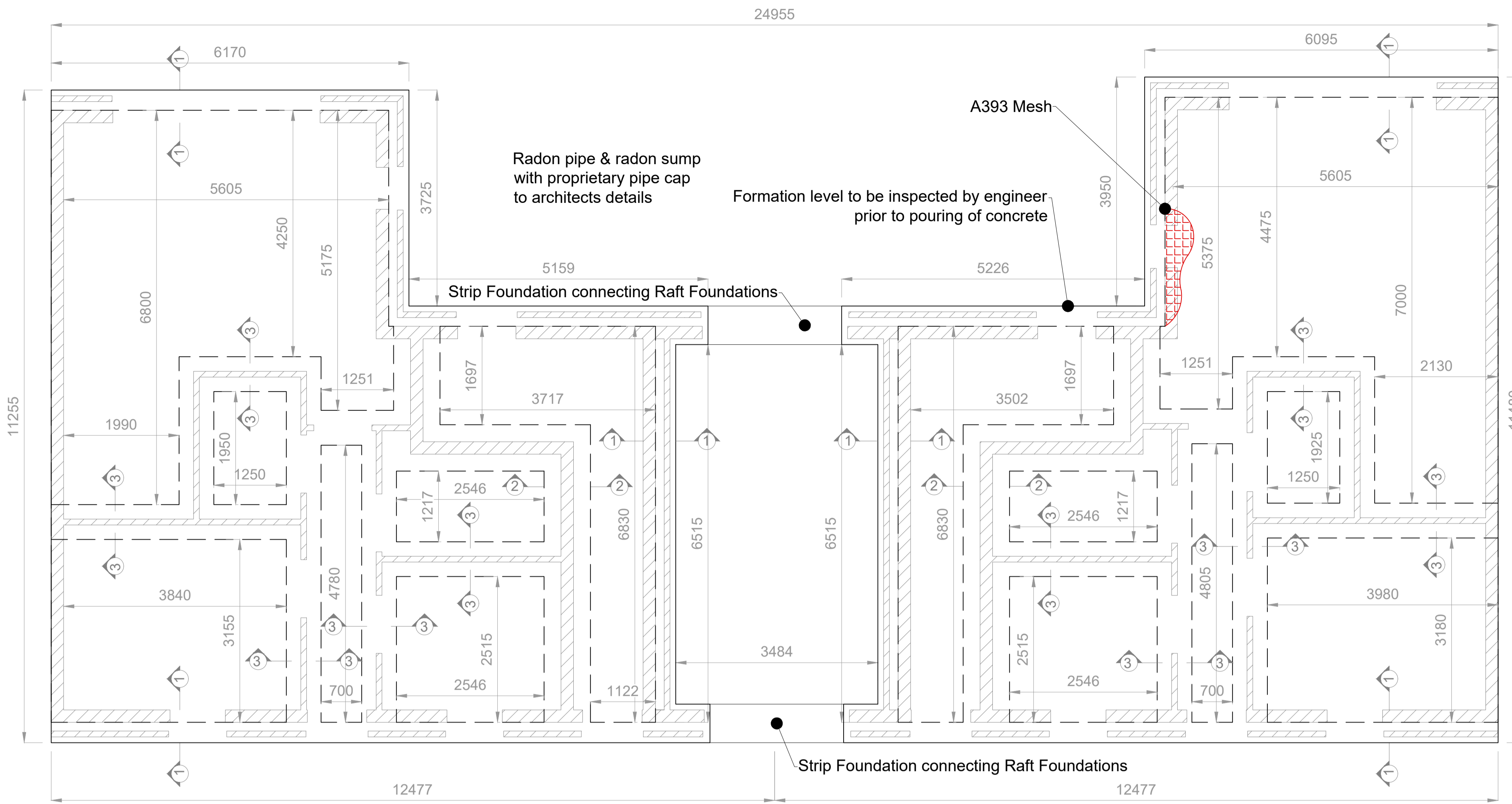
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GENERAL ARRANGEMENT FOUNDATIONS  
HOUSE SITE A - RAFT

**scale**  
AS SHOWN @ A1

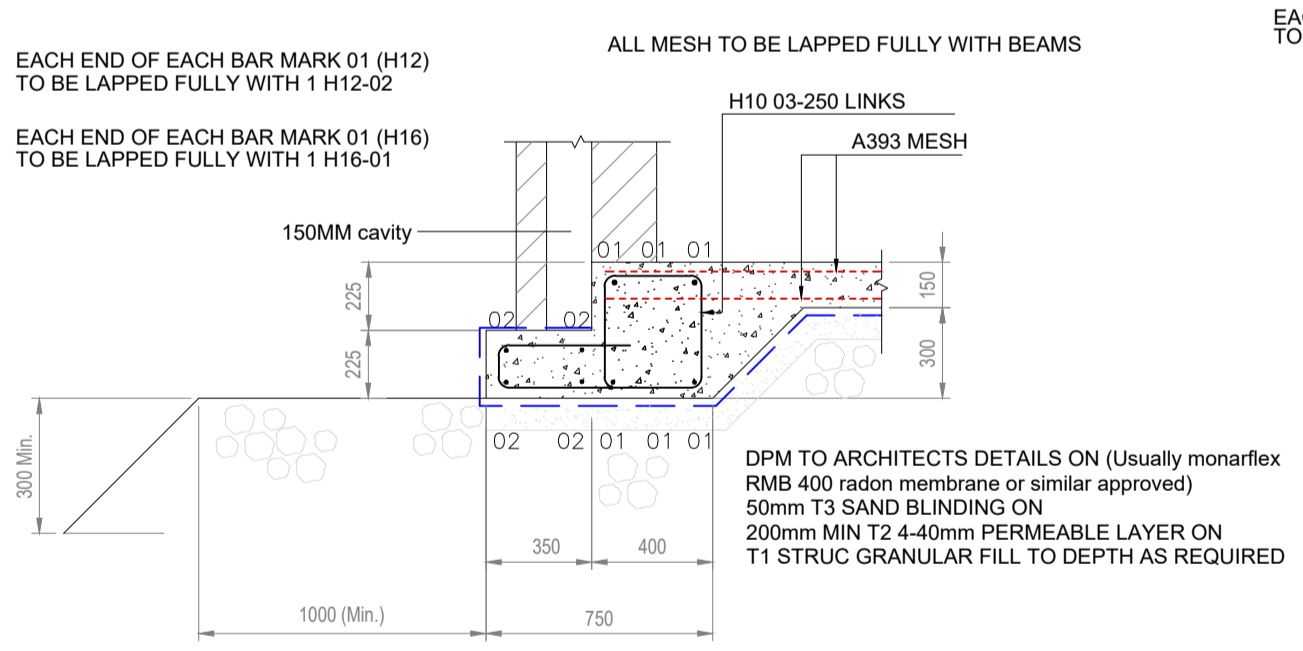
surveyed	drawn	checked	date
OSI	AP		July 2022

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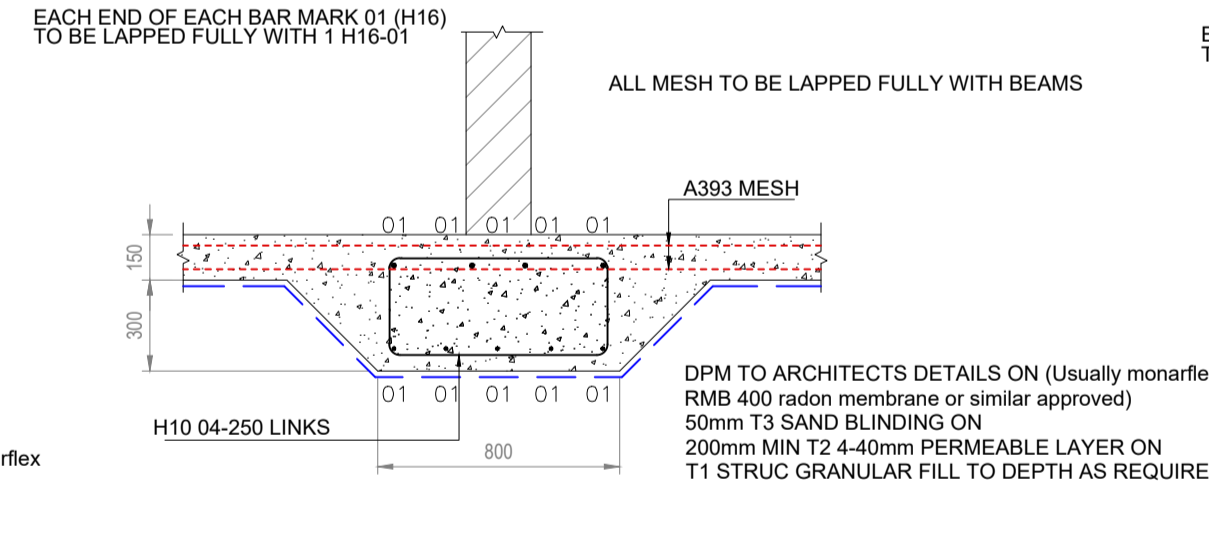
drawing no.	revision
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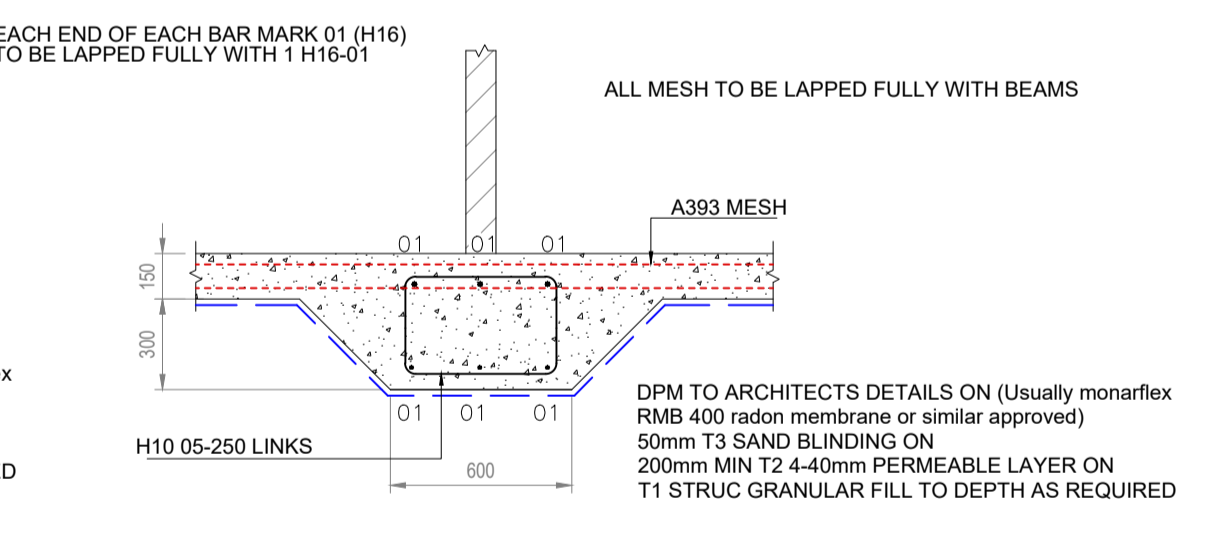
**Foundation Plan - House Site B**  
Scale 1:50 @ A1



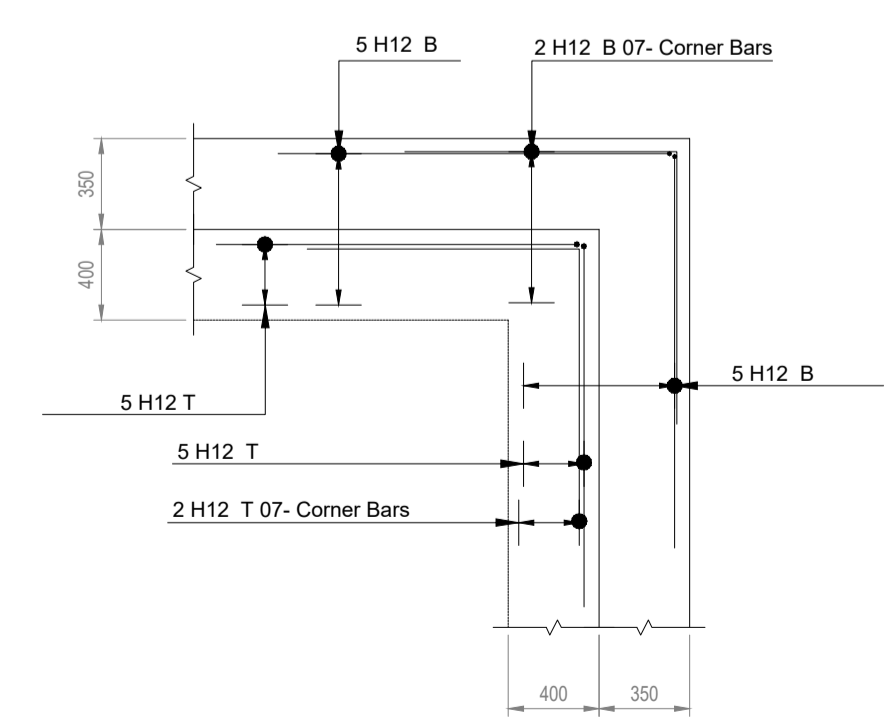
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Scale 1:25 @ A1



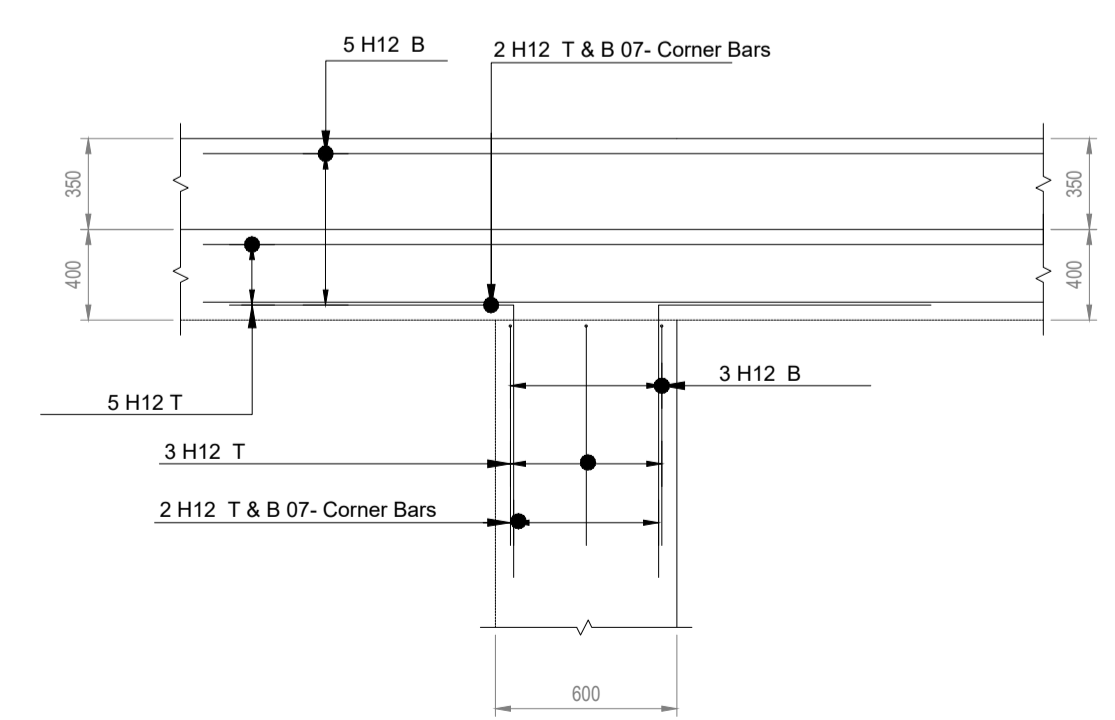
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Scale 1:25 @ A1



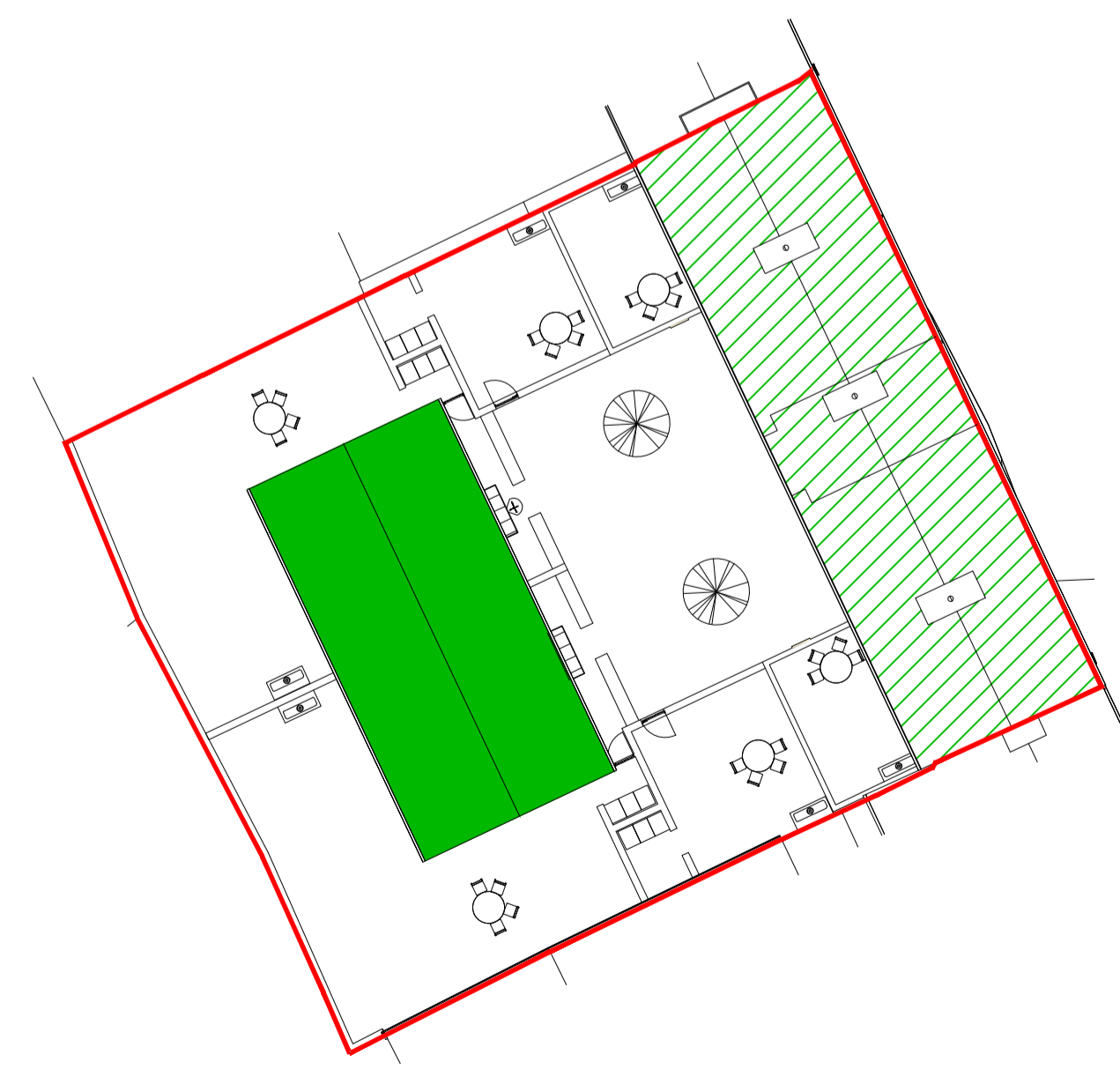
**A3 Section 3-3**  
Scale 1:25 @ A1



**A4 Section**  
Scale 1:25 @ A1  
TYPICAL CORNER DETAIL



**A5 Section**  
Scale 1:25 @ A1  
TYPICAL INTERNAL CAGE CONNECTION DETAIL



**KEY PLAN** Scale 1:250

**NOTES cont'd**

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**DRAFT**

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D.01	Issued for Discussion	AP	01.07.22
rev.	modifications	by	chkd

Layout Ref.:  
file: P:\job\6674 Mount St Hingl 700 Drawings\703 Planning\01 WIP\6674-JOD-XX-ZZ-DR-S-700-5000 GA Foundations HT - Raft.dwg

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Mayo County Council

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PROPOSED DEVELOPMENT AT  
MOUNT STREET, CLAREMORRIS,  
CO. MAYO

**stage**  
DRAFT

**title**  
GENERAL ARRANGEMENT FOUNDATIONS  
HOUSE SITE B - RAFT

**scale**  
AS SHOWN @ A1

surveyed	drawn	checked	date
OSI	AP		July 2022

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drawing no.	revision
6674-JOD-XX-ZZ-DR-S-700-5000	D.01

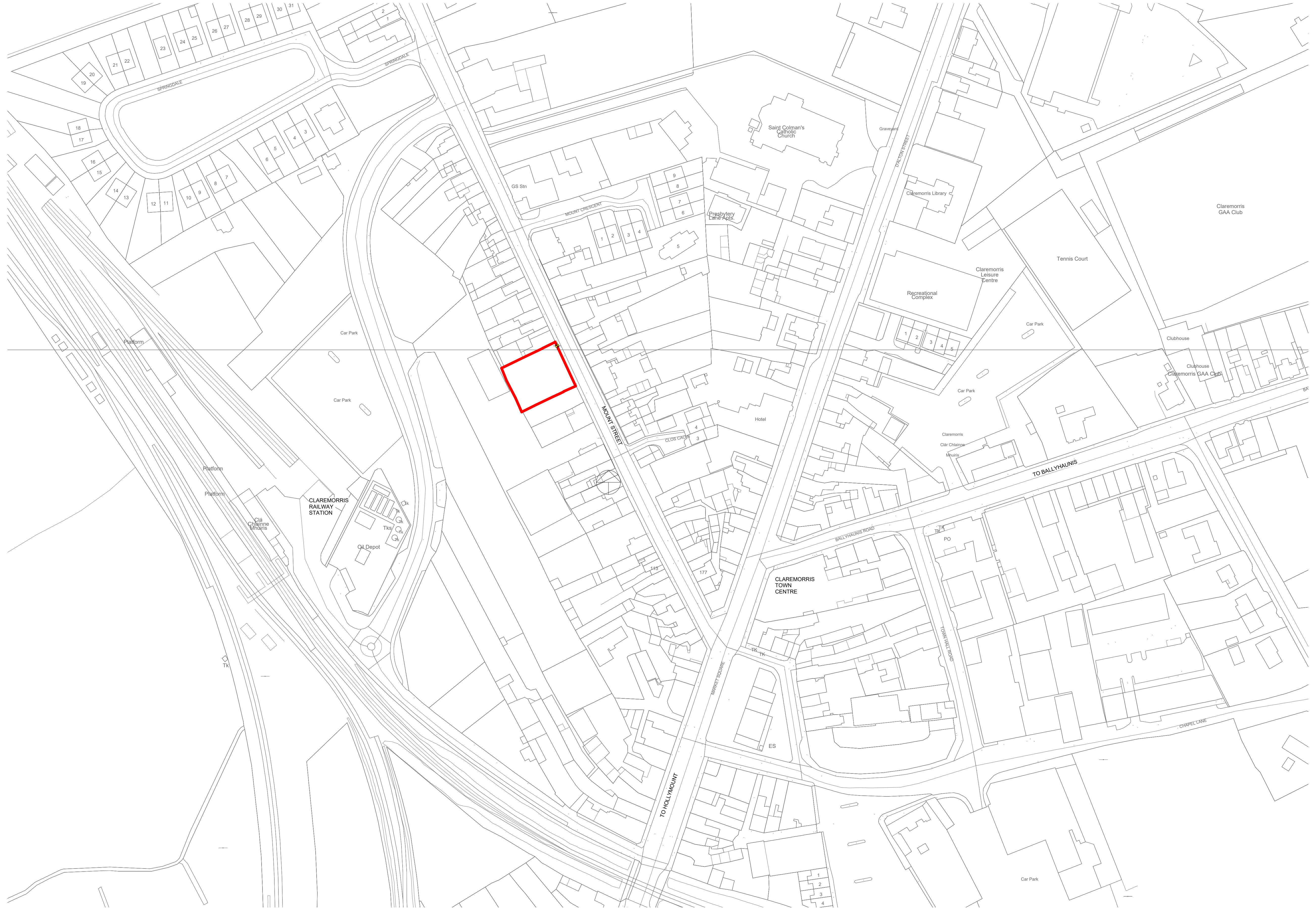
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- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings.
- All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.

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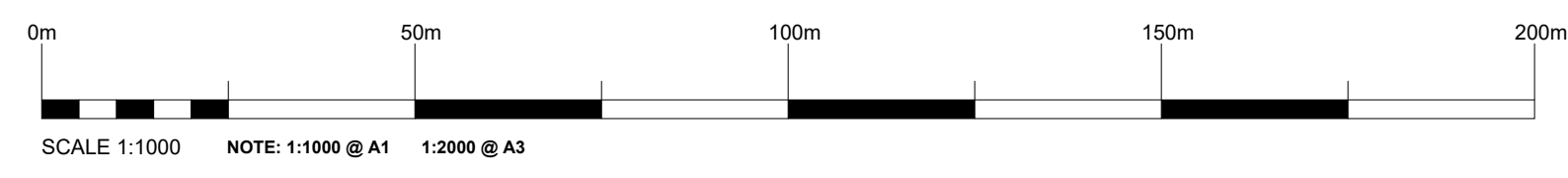
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**LEGEND**

	SITE BOUNDARY OUTLINED IN RED. AREA APPROX 793M2 (0.0793 HA)
	ITM Site Co-Ordinates = 534000,775100 Total Number of Units = 6

**(ST-1) SITE LOCATION MAP**  
SCALE: 1:1000



Purpose of Issue: **SINGLE STAGE SUBMISSION**

STATUS KEY		Rev No.	Date	Comment
SHARED / FOR INFORMATION				
S0	WORK IN PROGRESS			
S1	COORDINATION			
S2	INFORMATION			
S3	REVIEW / COMMENT			
S4	CONSENT APPROVAL			
D1	COSTING			
D2	TENDER			
D3	CONTRACTOR DESIGN			
PUBLISHED				
A1	IFB / FSC / DAC			
A2	CONSTRUCTION			
AB	AS-BUILT			



ARCHITECTS DEPARTMENT  
MAYO COUNTY COUNCIL



Project No: <b>A629</b>	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type <b>ST-1</b>	Status: <b>S2</b>
Drawing Title: ST-1 SITE LOCATION MAP	Drawing No. <b>100</b>	Revision: /	First Issue: 03/08/2022
Drawn By: DC	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: As indicated	
Checked By: PP	A629 - MCC - ST-1 - XX - A - 100 - S2		



(A)-UNIT 01 (2 BED 3 PERSON) 1 STOREY APT-GROSS AREA					
Number	Level	Name	Area	Comments	
UNIT 01	00 GFL	UNIT 01 (2B 3P)	69.39 m <sup>2</sup>	MIN 63M2 FOR 1 STOREY 2B 3P APT PLUS MAX 10% (6.3M2) 69.3M2	
TOTAL FLOOR AREA			69.39 m <sup>2</sup>		

(A)-UNIT 04 (2 BED 3 PERSON) 1 STOREY APT-GROSS AREA					
Number	Level	Name	Area	Comments	
UNIT 04	00 GFL	UNIT 04 (2B 3P)	69.22 m <sup>2</sup>	MIN 63M2 FOR 1 STOREY 2B 3P APT PLUS MAX 10% (6.3M2) 69.3M2	
TOTAL FLOOR AREA			69.22 m <sup>2</sup>		

2 BED 3 PERSON UNIT 1 STOREY APT.  
2 NO TOTAL : UNITS 01 & 04

**2 BED 3P 1S UNIT**  
SCALE: 1:100

(A)-UNIT 02 (2 BED 4 PERSON) 2 STOREY-OWN DOOR-APARTMENT - GROSS AREA					
Number	Level	Name	Area	DEPT STANDARD COMMENTS FOR TOTAL FLOOR AREA	
UNIT 02	00 GFL	UNIT 02 (2B 4P) ENTRANCE	7.45 m <sup>2</sup>	OWN DOOR- STREET ENTRANCE LEVEL- INTERNAL DWELLING PART M COMPLIANT STAIRWAY ACCESSED FROM HERE	
UNIT 02	01 FFL	UNIT 02-(2B 4P APT)	77.02 m <sup>2</sup>	MIN 80M2 FOR 2 STOREY 2B 4P	
TOTAL FLOOR AREA			84.73 m <sup>2</sup>		

2 BED 4 PERSON UNIT 2 STOREY APT.  
2 NO TOTAL : UNITS 02 & 03

**2 BED 4P 2S UNIT**  
SCALE: 1:100

(A)-UNIT 06 (1 BED 2 PERSON) 1 STOREY APT- GROSS AREA					
Number	Level	Name	Area	Comments	
UNIT 06	00 GFL	UNIT 06 (1B 2P)	49.45 m <sup>2</sup>	SINGLE STOREY 1BED 2P APT -MIN 45M2 PLUS 10% (4.5M2)-49.5M2.	
TOTAL FLOOR AREA			49.45 m <sup>2</sup>		

(A)-UNIT 05 (1 BED 2 PERSON) 1 STOREY APT GROSS AREA					
Number	Level	Name	Area	Comments	
UNIT 05	00 GFL	UNIT 05 (1B 2P)	49.45 m <sup>2</sup>	SINGLE STOREY 1 BED 2P APT -MIN 45M2 PLUS 10% (4.5M2) 49.5M2	
TOTAL FLOOR AREA			49.45 m <sup>2</sup>		

1 BED 2 PERSON SINGLE STOREY SEMI-DETACHED UNIT  
SUITABLE FOR SHELTERED HOUSING.  
2 NO TOTAL : UNITS 05 & 06

**1 BED 2P 1S UNIT**  
SCALE: 1:100

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**PROPOSED BOUNDARY TREATMENT & SURFACE FINISH LEGEND**

- NEW TREES**  
PLANTING OF DECIDUOUS NATIVE TREES VARIOUS SPECIES AND SIZES (TO LATER CONFIRMATION BY ARCHITECTS)
- NEW SHRUBS**  
PLANTING OF NEW DECORATIVE SHRUBS VARIOUS SPECIES AND SIZES (TO LATER CONFIRMATION BY ARCHITECTS)
- S1**  
**SURFACE FINISH S1: GRASS**  
GRASS SEED ON 300MM IMPORTED TOPSOIL. ALL GARDENS TO BE ROTAVATED, RAKED, CLEANED, GRADED, ROLLED AND SEEDED.
- S2**  
**SURFACE FINISH S2: PLANTER**  
MIN 300MM IMPORTED TOPSOIL SUITABLE FOR PLANTING WITH GEO TEXTILE & BARK MULCH PROTECTION AGAINST WEEDS (TO LATER CONFIRMATION BY ARCHITECTS)
- S3**  
**SURFACE FINISH S3: DECORATIVE SURFACE**  
DECORATIVE HARD SURFACE- PAVING/ SURFACE BONDED FINISH ON BASES TO ENGINEERS SPECIFICATION AND DETAILS (TO LATER CONFIRMATION BY ARCHITECTS)
- S4**  
**SURFACE FINISH S4: FOOTPATHS**  
IN-SITU CONCRETE FOOTPATH ON BASE LAYERS TO STRUCTURAL ENGINEERS SPECIFICATION AND DETAILS.
- GATE**  
PROPOSED TIMBER PEDESTRIAN ACCESS GATE
- BOUNDARY TYPE B7**  
PROPOSED 2000MM HIGH BLOCK SCREEN WALL WITH PLASTER FINISH WITH IN-SITU CONCRETE CAPPING ON CONCRETE STRIP FOUNDATION TO ENGINEERS SPECIFICATION AND DETAILS.
- BOUNDARY TYPE B13**  
PROPOSED RAISED PLANTER FORMED IN BOARDMARKED IN-SITU CONCRETE CONCRETE STRIP FOUNDATION TO ENGINEERS SPECIFICATION AND DETAILS (TO LATER CONFIRMATION BY ARCHITECTS).

**NOTES:**

GENEROUS SHARED EXTERNAL COURTYARD WITH PASSIVE SURVEILLANCE PROVIDED WITH SECURE ACCESS FROM STREET THROUGH ARCHWAY. LOCATION OF ARCHWAY CENTRAL ON FACADE HOWEVER TREATMENT OF STREET FACADE WILL BREAK DOWN DEVELOPMENT INTO A NUMBER OF ELEMENTS- TREATING ARCHWAY SO THAT IT WILL BE TO THE SIDE OF ONE OF THE FACADE ELEMENTS.

ALL UNITS ARE APARTMENTS AND HAVE PRIVATE EXTERNAL SPACE - MIN 20M2.

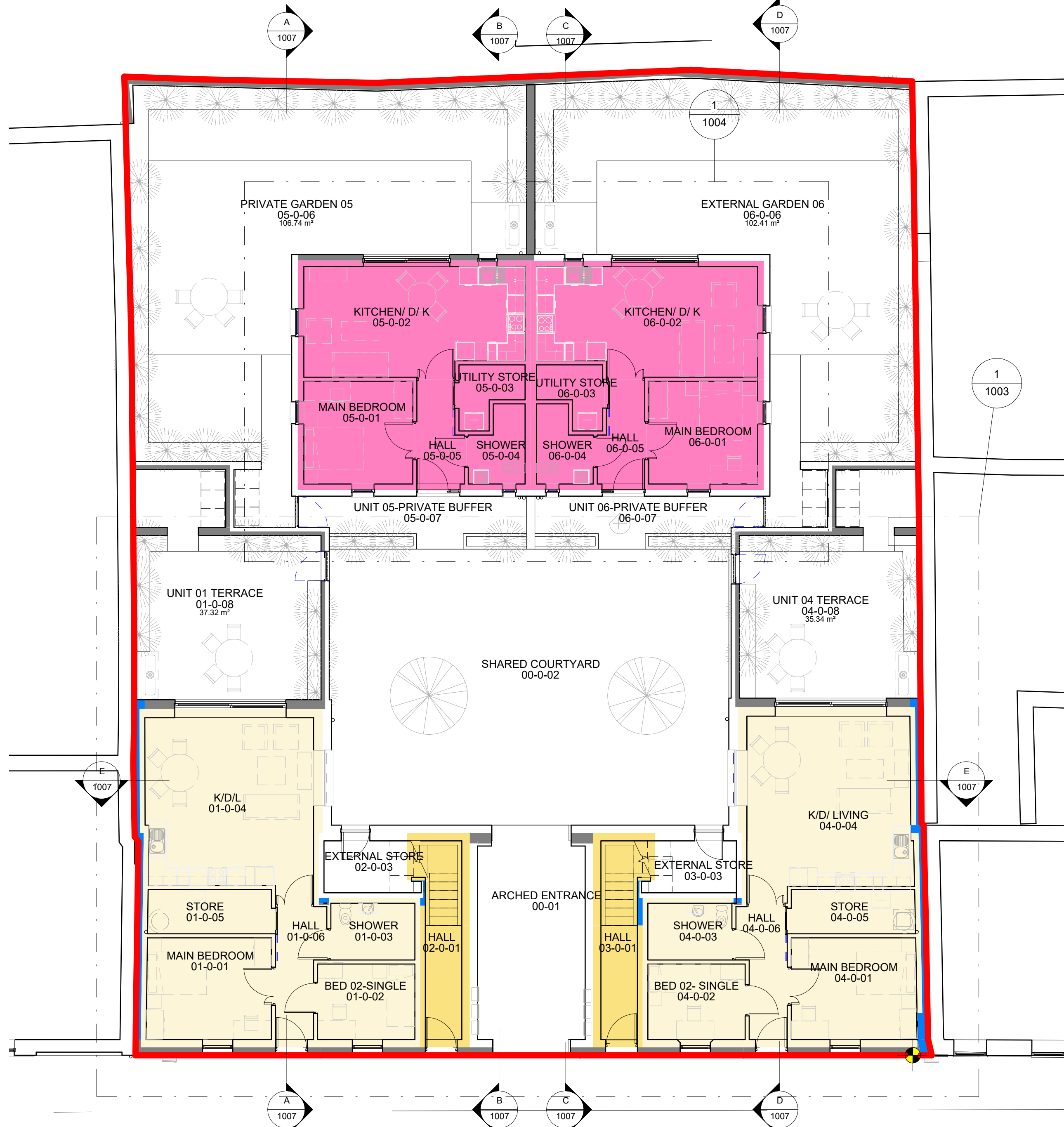
ALL UNITS HAVE SECURE PRIVATE BIN / BIKES ACCESSED FROM GROUND LEVEL.

PROPOSAL STREETScape HEIGHT 2 STOREY TO MATCH NORTHERN NEIGHBOUR STREET FRONTAGE

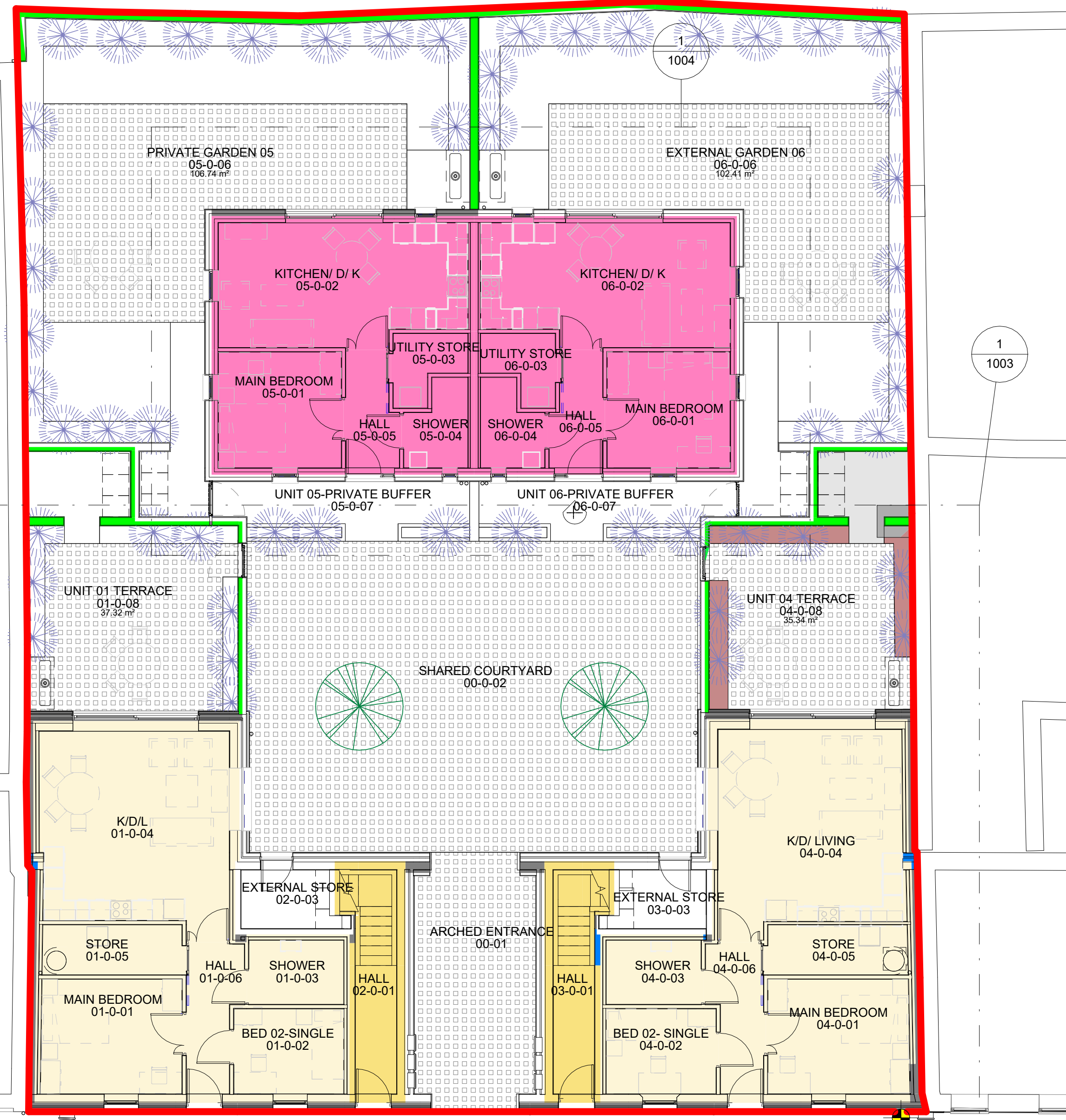
**TOTAL OF 6 NO UNITS COMPRISING:**  
UNITS 01 & 04 : 2 NO 2 BED 3P (SINGLE STOREY APARTMENT)  
UNITS 05 & 06 : 2 NO 1 BED 2P (SINGLE STOREY SEMI-D APARTMENT)  
UNITS 02 & 03 : 2 NO 2 BED 4P (TWO STOREY APARTMENT)

**LEGEND**

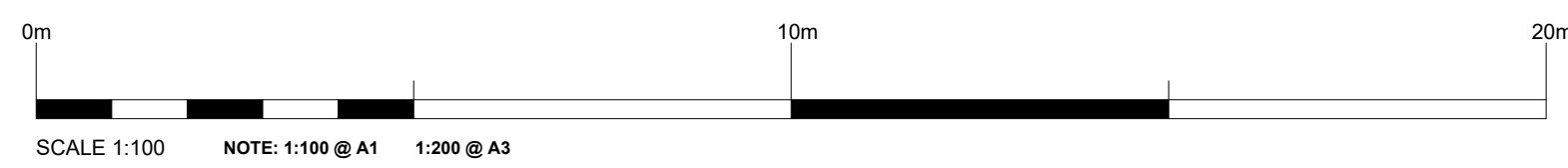
- SITE BOUNDARY OUTLINED IN RED. AREA APPROX 793M2 (0.0793 HA)
- ITM Site Co-Ordinates = 534000,775100  
Total Number of Units = 6
- AREA UNDER APPLICANTS OWNERSHIP OUTLINED IN BLUE
- LOCATION OF SITE NOTICE
- HATCH DENOTES EXISTING BUILDING NOT IN APPLICANTS OWNERSHIP



**(ST-1) 00 SITE PLAN-OVERVIEW**  
SCALE: 1:100



**(ST-1) 00 SITE PLAN-BOUNDARY TREATMENTS OVERVIEW**  
SCALE: 1:100



STATUS KEY			
Rev No.	Date	Comment	
SHARED / FOR INFORMATION			
S0		WORK IN PROGRESS	
S1		COORDINATION	
S2		INFORMATION	
S3		REVIEW / COMMENT	
S4		CONSENT APPROVAL	
D1		CONSULTING	
D2		TENDER	
D3		CONTRACTOR DESIGN	
PUBLISHED			
A1		PFS / FSD/ DAC	
A2		CONSTRUCTION	
AB		AS-BUILT	



ARCHITECTS DEPARTMENT  
MAYO COUNTY COUNCIL



Purpose of Issue: **SINGLE STAGE SUBMISSION**

Project No: <b>A629</b>	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type: <b>ST-1</b>	Status: <b>S2</b>
Drawing Title: ST-1 SITE LAYOUT- OVERVIEW PLANS	Drawing No. <b>101</b>	Revision: /	First Issue: /
Drawn By: CMG	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: 1:100	Date: 03/08/2022
Checked By: KK	A629 - MCC - ST-1 - XX - A - 101 - S2		



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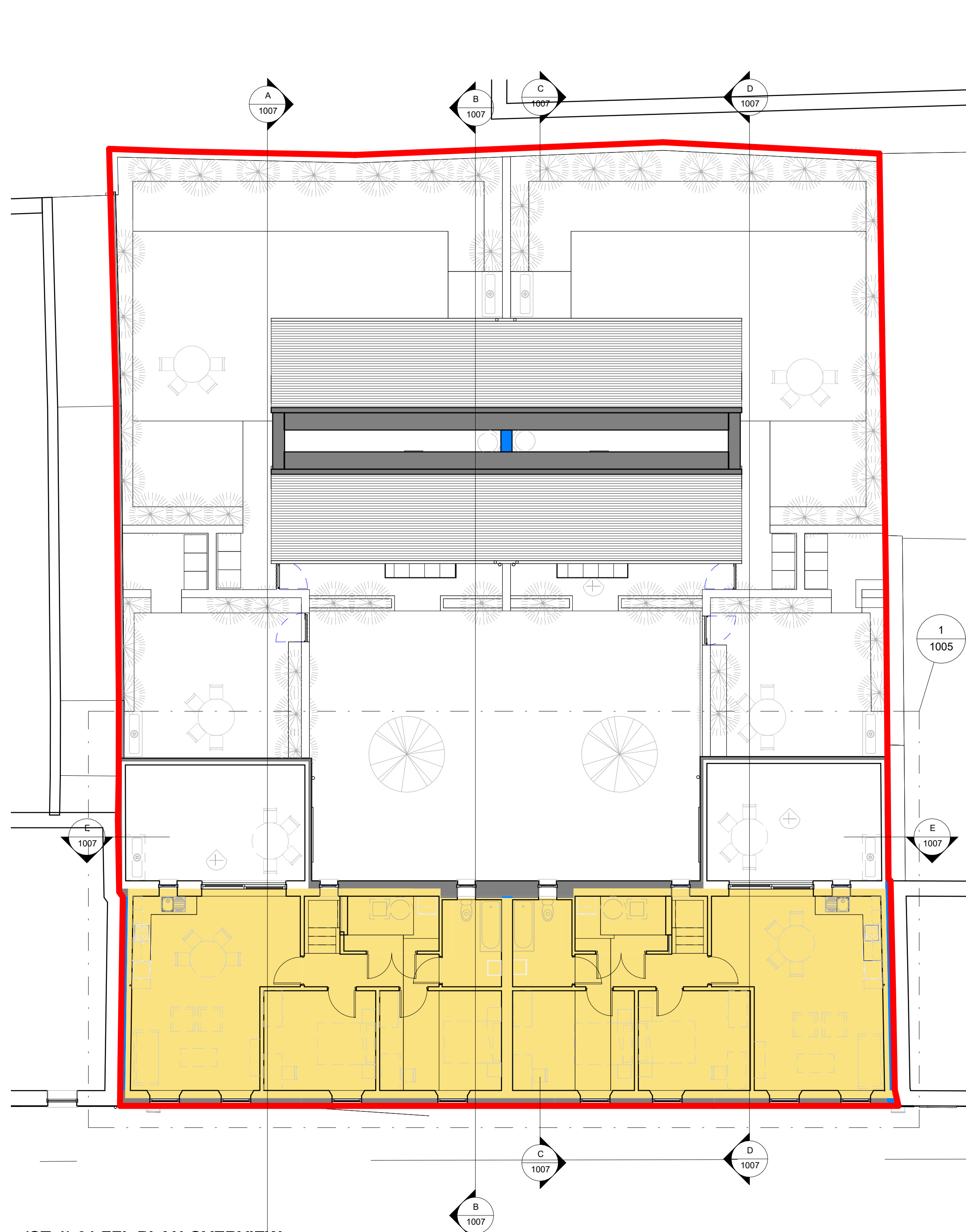
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2 BED 4 PERSON UNIT 2 STOREY APT.  
2 NO TOTAL : UNITS 02 & 03

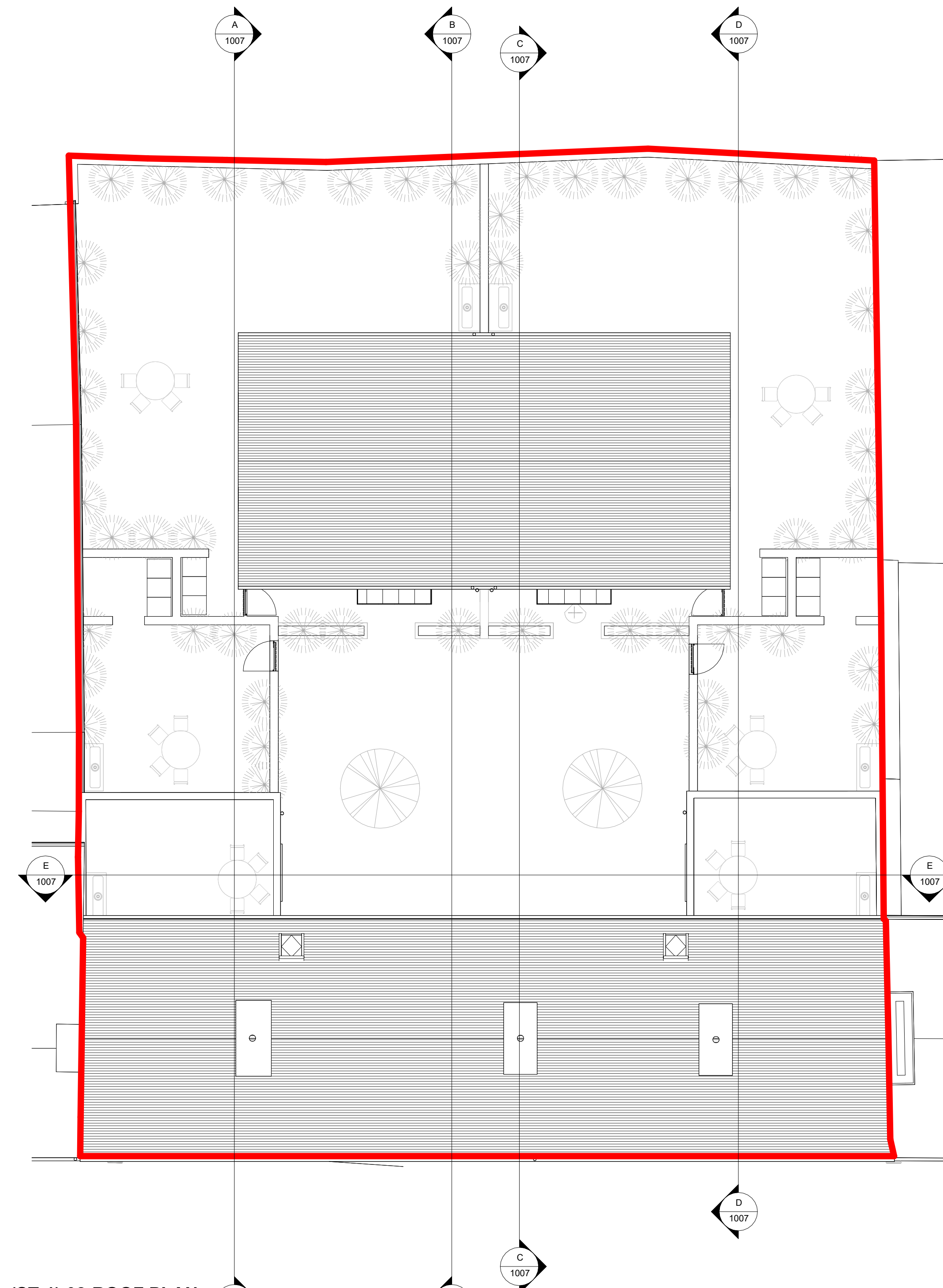
**2 BED 4P 2S UNIT**  
SCALE: 1 : 100

**LEGEND**

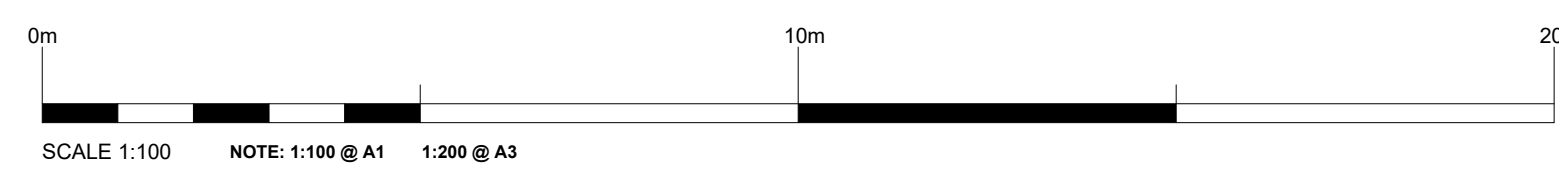
- SITE BOUNDARY OUTLINED IN RED. AREA APPROX 793M2 (0.0793 HA)
- ITM Site Co-Ordinates = 534000,775100 Total Number of Units = 6
- AREA UNDER APPLICANTS OWNERSHIP OUTLINED IN BLUE
- LOCATION OF SITE NOTICE
- ▨ HATCH DENOTES EXISTING BUILDING NOT IN APPLICANTS OWNERSHIP



**(ST-1) 01 FFL PLAN OVERVIEW**  
SCALE: 1 : 100



**(ST-1) 02-ROOF PLAN**  
SCALE: 1 : 100



Purpose of Issue: **SINGLE STAGE SUBMISSION**

STATUS KEY		Rev No.	Date	Comment
SHARED / FOR INFORMATION				
S0	WORK IN PROGRESS			
S1	COORDINATION			
S2	INFORMATION			
S3	REVIEW / COMMENT			
S4	CONSENT APPROVAL			
S5	COSTING			
S6	TENDER			
S7	CONTRACTOR DESIGN			
PUBLISHED				
A1	IFB / FSD / DAC			
A2	CONSTRUCTION			
A3	AS-BUILT			



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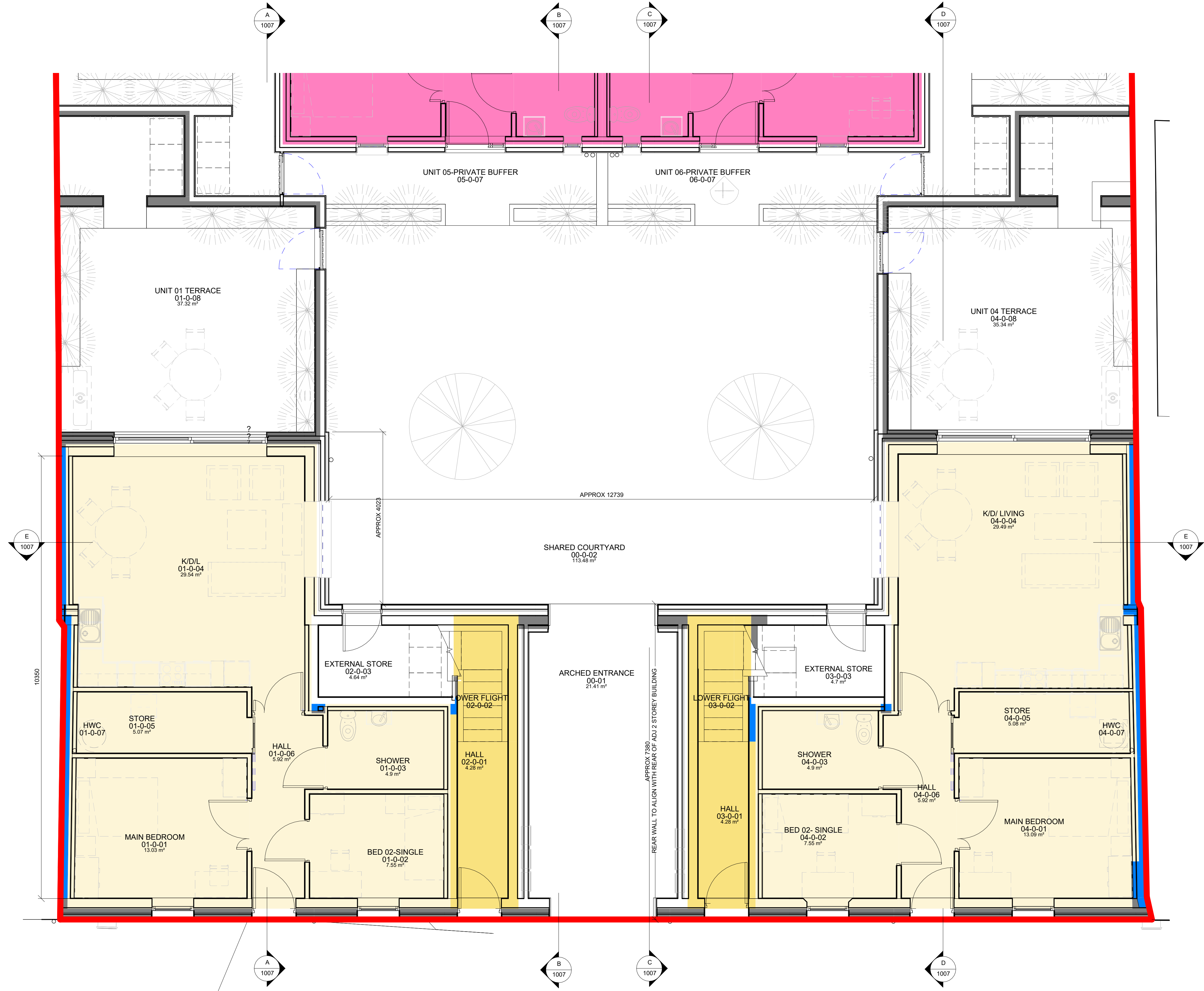
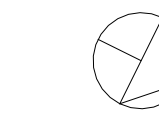


Project No: <b>A629</b>	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type <b>ST-1</b>	Status: <b>S2</b>
Drawing Title: ST-1 1ST FLOOR & ROOF PLANS- OVERVIEW	Drawing No. <b>102</b>	Revision: /	First Issue: /
Drawn By: Author	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: <b>1 : 100</b>	03/08/2022
Checked By: Checker	<b>A629 - MCC - ST-1 - XX - A - 102 - S2</b>		



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(A)-UNIT 01-2 BED 3 PERSON-1 STOREY APT-ROOM SCHEDULE

ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
01-0-01	MAIN BEDROOM	13.03 m <sup>2</sup>	13m <sup>2</sup> min double/ AGG PROVISION 20.43M <sup>2</sup> (MIN 20M <sup>2</sup> )
01-0-02	BED 02-SINGLE	7.55 m <sup>2</sup>	7.1m <sup>2</sup> min SINGLE
01-0-03	SHOWER	4.9 m <sup>2</sup>	UNIVERSAL DESIGN
01-0-04	K/D/L	29.54 m <sup>2</sup>	K/D/L aggregate -28m <sup>2</sup> min
01-0-05	STORE	5.07 m <sup>2</sup>	MIN 5M <sup>2</sup>
01-0-06	HALL	5.92 m <sup>2</sup>	1500MM TURNING AREA PROVIDED
01-0-07	HWC	0.56 m <sup>2</sup>	
01-0-08	UNIT 01 TERRACE	37.32 m <sup>2</sup>	EXTERNAL-MIN 20M <sup>2</sup> FOR APARTMENT

(A)-UNIT 01 (2 BED 3 PERSON) 1 STOREY APT-GROSS AREA

Number	Level	Name	Area	Comments
UNIT 01	00 GFL	UNIT 01 (2B 3P)	69.39 m <sup>2</sup>	MIN 63M <sup>2</sup> FOR 1 STOREY 2B 3P APT PLUS MAX 10% (6.3M <sup>2</sup> ) 69.3M <sup>2</sup>
TOTAL FLOOR AREA			69.39 m <sup>2</sup>	

(A)-UNIT 04-2 BED 3 PERSON-1 STOREY APT-ROOM SCHEDULE

ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
04-0-01	MAIN BEDROOM	13.09 m <sup>2</sup>	13m <sup>2</sup> min MAIN double/ AGG PROVISION 20.58M <sup>2</sup> (MIN 20M <sup>2</sup> )
04-0-02	BED 02-SINGLE	7.55 m <sup>2</sup>	7.1m <sup>2</sup> min SINGLE
04-0-03	SHOWER	4.9 m <sup>2</sup>	5M <sup>2</sup> MIN REQUIRED
04-0-04	K/D/LIVING	29.49 m <sup>2</sup>	K/D/L aggregate -28m <sup>2</sup> min
04-0-05	STORE	5.08 m <sup>2</sup>	MIN 5M <sup>2</sup>
04-0-06	HALL	5.92 m <sup>2</sup>	1500MM TURNING AREA PROVIDED
04-0-07	HWC	0.56 m <sup>2</sup>	
04-0-08	UNIT 04 TERRACE	35.34 m <sup>2</sup>	EXTERNAL-MIN 20M <sup>2</sup> FOR APARTMENT

(A)-UNIT 04 (2 BED 3 PERSON) 1 STOREY APT-GROSS AREA

Number	Level	Name	Area	Comments
UNIT 04	00 GFL	UNIT 04 (2B 3P)	69.22 m <sup>2</sup>	MIN 63M <sup>2</sup> FOR 1 STOREY 2B 3P APT PLUS MAX 10% (6.3M <sup>2</sup> ) 69.3M <sup>2</sup>
TOTAL FLOOR AREA			69.22 m <sup>2</sup>	

2 BED 3 PERSON UNIT 1 STOREY APT.  
2 NO TOTAL - UNITS 01 & 04

**2 BED 3P 1S UNIT**

SCALE: 1 : 50

2 BED 4 PERSON UNIT 2 STOREY APT.  
2 NO TOTAL - UNITS 02 & 03

**2 BED 4P 2S UNIT**

SCALE: 1 : 50

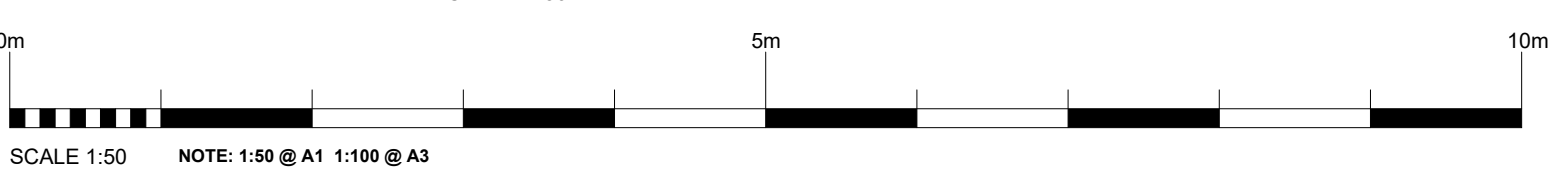
1 BED 2 PERSON SINGLE STOREY UNIT  
SUITABLE FOR SHELTERED HOUSING  
2 NO TOTAL - UNITS 05 & 06

**1 BED 2P 1S UNIT**

SCALE: 1 : 50

(ST-1) 00-1 GFL PLAN-FRONT UNITS-DETAIL

SCALE: 1 : 50



SCALE 1:50 NOTE: 1:50 @ A1 1:100 @ A3

STATUS KEY	Rev No.	Date	Comment
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S0 WORK IN PROGRESS			
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S2 INFORMATION			
S3 REVIEW COMMENT			
S4 CONF APPROVAL			
S5 COSTING			
D0 TENDER			
D1 CONTRACTOR DESIGN			
PUBLISHED			
A1 PFS / FSD / DAC			
A2 CONSTRUCTION			
AB AS-BUILT			



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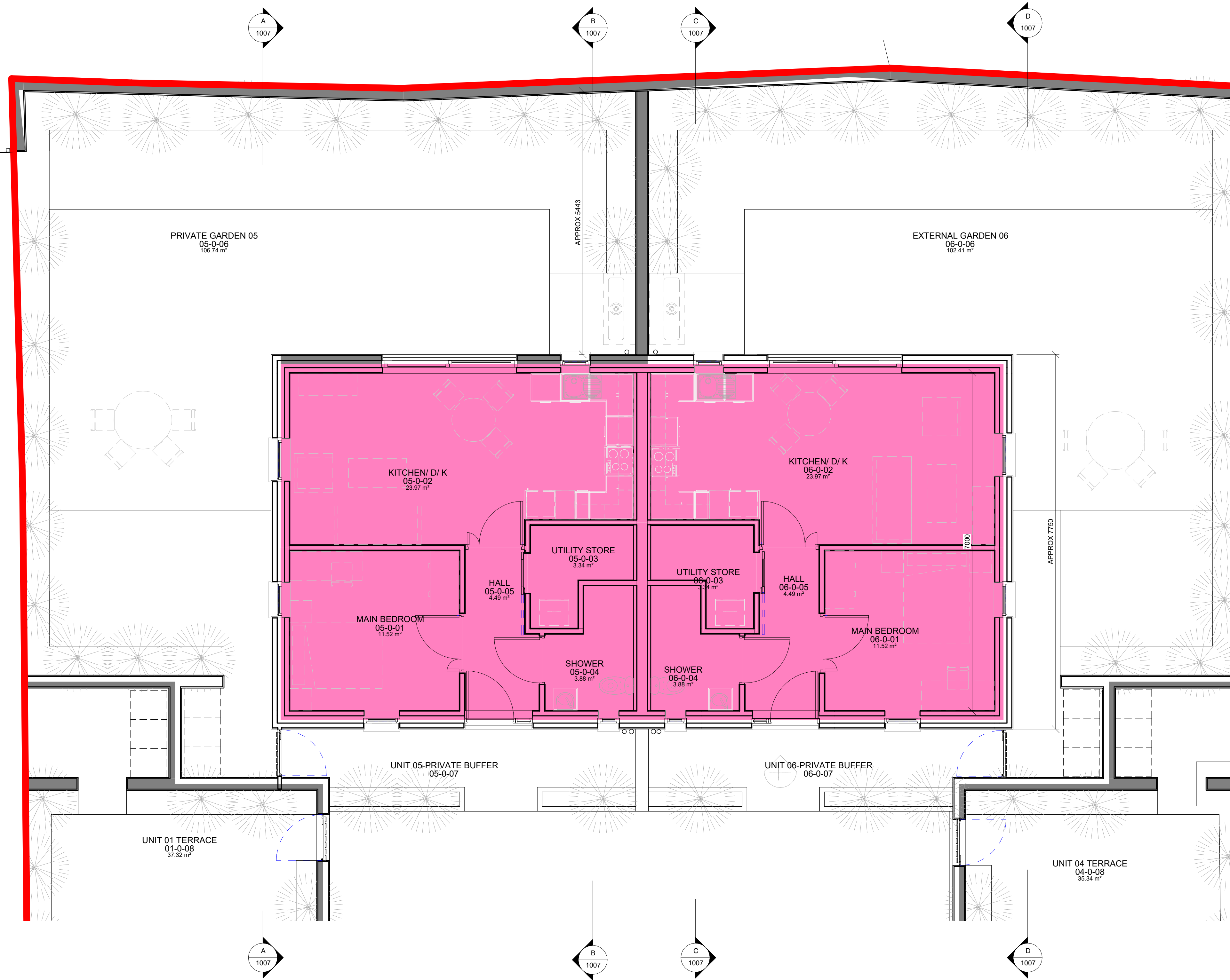
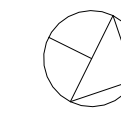
Purpose of Issue: **SINGLE STAGE SUBMISSION**

Project No: <b>A629</b>	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type: <b>ST-1</b>	Status: <b>S2</b>
Drawing Title: ST-1 GROUND FLOOR PLAN-FRONT UNITS	Drawing No. <b>103</b>	Revision: /	First Issue: /
Drawn By: Author	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: <b>1 : 50</b>	03/08/2022
Checked By: Checker	<b>A629 - MCC - ST-1 - XX - A - 103 - S2</b>		



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(A)-UNIT 05-1 BED 2 PERSON 1 STOREY APT-ROOM SCHEDULE			
ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
05-0-01	MAIN BEDROOM	11.52 m <sup>2</sup>	11.4m2 min double
05-0-02	KITCHEN/ D/ K	23.97 m <sup>2</sup>	MIN 23M2
05-0-03	UTILITY STORE	3.34 m <sup>2</sup>	MIN 3M2
05-0-04	SHOWER	3.88 m <sup>2</sup>	ACCESSIBLE
05-0-05	HALL	4.49 m <sup>2</sup>	1500MM TURNING AREA PROVIDED
05-0-06	PRIVATE GARDEN 05	106.74 m <sup>2</sup>	EXTERNAL-MIN 20M2 FOR APARTMENT
05-0-07	UNIT 05-PRIVATE BUFFER	11.74 m <sup>2</sup>	EXTERNAL- NOT PART OF FLOOR AREA

(A)-UNIT 06 (1 BED 2 PERSON) 1 STOREY APT- GROSS AREA				
Number	Level	Name	Area	Comments
UNIT 06	00 GFL	UNIT 06 (1B 2P)	49.45 m <sup>2</sup>	SINGLE STOREY 1BED 2P APT -MIN 45M2 PLUS 10% (4.5M2)-49.5M2.
TOTAL FLOOR AREA			49.45 m <sup>2</sup>	

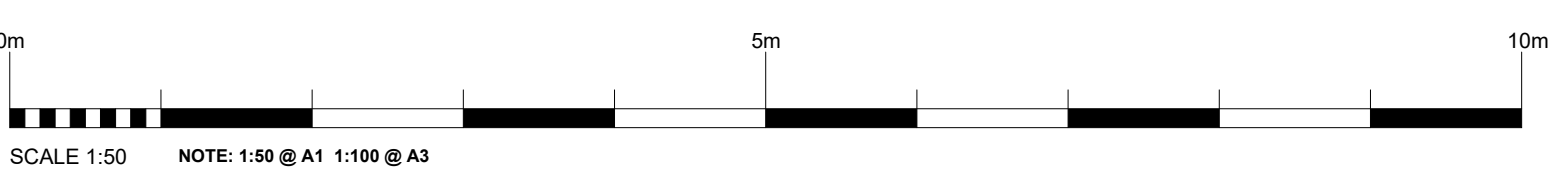
(A)-UNIT 06-1 BED 2 PERSON 1 STOREY APT-ROOM SCHEDULE			
ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
06-0-01	MAIN BEDROOM	11.52 m <sup>2</sup>	MIN 11.4M2
06-0-02	KITCHEN/ D/ K	23.97 m <sup>2</sup>	MIN 23M2
06-0-03	UTILITY STORE	3.34 m <sup>2</sup>	MIN 3M2
06-0-04	SHOWER	3.88 m <sup>2</sup>	ACCESSIBLE
06-0-05	HALL	4.49 m <sup>2</sup>	1500MM TURNING AREA PROVIDED
06-0-06	EXTERNAL GARDEN 06	102.41 m <sup>2</sup>	EXTERNAL- MIN 20M2 FOR APARTMENT
06-0-07	UNIT 06-PRIVATE BUFFER	11.69 m <sup>2</sup>	EXTERNAL- NOT PART OF FLOOR AREA

(A)-UNIT 05 (1 BED 2 PERSON) 1 STOREY APT GROSS AREA				
Number	Level	Name	Area	Comments
UNIT 05	00 GFL	UNIT 05 (1B 2P)	49.45 m <sup>2</sup>	SINGLE STOREY 1 BED 2P APT -MIN 45M2 PLUS 10% (4.5M2)-49.5M2
TOTAL FLOOR AREA			49.45 m <sup>2</sup>	

1 BED 2 PERSON SINGLE STOREY UNIT  
SUITABLE FOR SHELTERED HOUSING  
2 NO TOTAL : UNITS 05 & 06

**1 BED 2P 1S UNIT**  
SCALE: 1 : 50

**(ST-1) 00-2 GFL PLAN-REAR UNITS-DETAIL**  
SCALE: 1 : 50



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S7	CONTRACTOR DESIGN			
PUBLISHED				
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AB	AS-BUILT			



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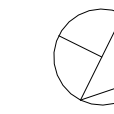


Purpose of Issue:		<b>SINGLE STAGE SUBMISSION</b>	
Project No:	Project Title:	Dwg Type:	Status:
<b>A629</b>	TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	<b>ST-1</b>	<b>S2</b>
Drawing Title:	Drawing No.:	Scale:	Revision:
ST-1 GROUND FLOOR PLAN- REAR UNITS	<b>104</b>	<b>1 : 50</b>	/
Drawn By:	Author	No. - Orig - Cat - Lvl - Type - Role - No. - Status	First Issue:
Checked By:	Checker	<b>A629 - MCC - ST-1 - XX - A - 104 - S2</b>	03/08/2022



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(A)-UNIT 02-2 BED 4 PERSON-2 STOREY APARTMENT -ROOM SCHEDULE

ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
02-0-01	HALL	4.28 m <sup>2</sup>	
02-0-03	EXTERNAL STORE	4.64 m <sup>2</sup>	PART OF STORAGE -AGG TOTAL 8M2 - MIN 7M2.
02-0-04	UNDER STAIRS-STORE	3.9 m <sup>2</sup>	EXTERNAL-EXCLUDED FROM AREA & STORAGE CALC AS TOO LOW

00 LOWER LANDING			
02-0-02	LOWER FLIGHT	3.07 m <sup>2</sup>	PART M COMPLIANT

01 FFL			
02-1-01	MAIN BEDROOM	13.06 m <sup>2</sup>	13m2 min main double
02-1-02	BEDROOM 02	12 m <sup>2</sup>	11.4m2 min double/ AGG PROVISION 25.03M2 (MIN 25M2)
02-1-03	K/D/LIVING	30.72 m <sup>2</sup>	MIN 30M2 TOTAL
02-1-04	BATHROOM	4.92 m <sup>2</sup>	
02-1-05	STORE	2.72 m <sup>2</sup>	PART OF STORAGE
02-1-07	LANDING	4.76 m <sup>2</sup>	
02-1-08	PART-M-STAIRS	5.26 m <sup>2</sup>	PART M COMPLIANT
02-1-09	SHELVES	0.64 m <sup>2</sup>	PART OF STORAGE
02-1-10	EXTERNAL ENCLOSED TERRACE	22.36 m <sup>2</sup>	MIN 20M2 EXTERNAL PRIVATE AREA (BALCONY) FOR APARTMENT. MIN 1800MM HIGH GUARDING/ SCREENS ENSURE THAT THERE IS NO OVERLOOKING FROM BALCONY.

(A)-UNIT 02 (2 BED 4 PERSON) 2 STOREY-OWN DOOR-APARTMENT - GROSS AREA

Number	Level	Name	Area	DEPT STANDARD COMMENTS FOR TOTAL FLOOR AREA
UNIT 02	00 GFL	UNIT 02 (2B 4P) ENTRANCE	7.45 m <sup>2</sup>	OWN DOOR- STREET ENTRANCE LEVEL- INTERNAL DWELLING PART M COMPLIANT STAIRWAY ACCESSED FROM HERE

(A)-UNIT 03-2 BED 4 PERSON-2 STOREY APARTMENT-ROOM SCHEDULE

ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
03-0-01	HALL	4.28 m <sup>2</sup>	
03-0-03	EXTERNAL STORE	4.7 m <sup>2</sup>	PART OF STORAGE -AGG TOTAL 7.99M2 - MIN 7M2.

00 LOWER LANDING			
03-0-02	LOWER FLIGHT	3.04 m <sup>2</sup>	PART M COMPLIANT

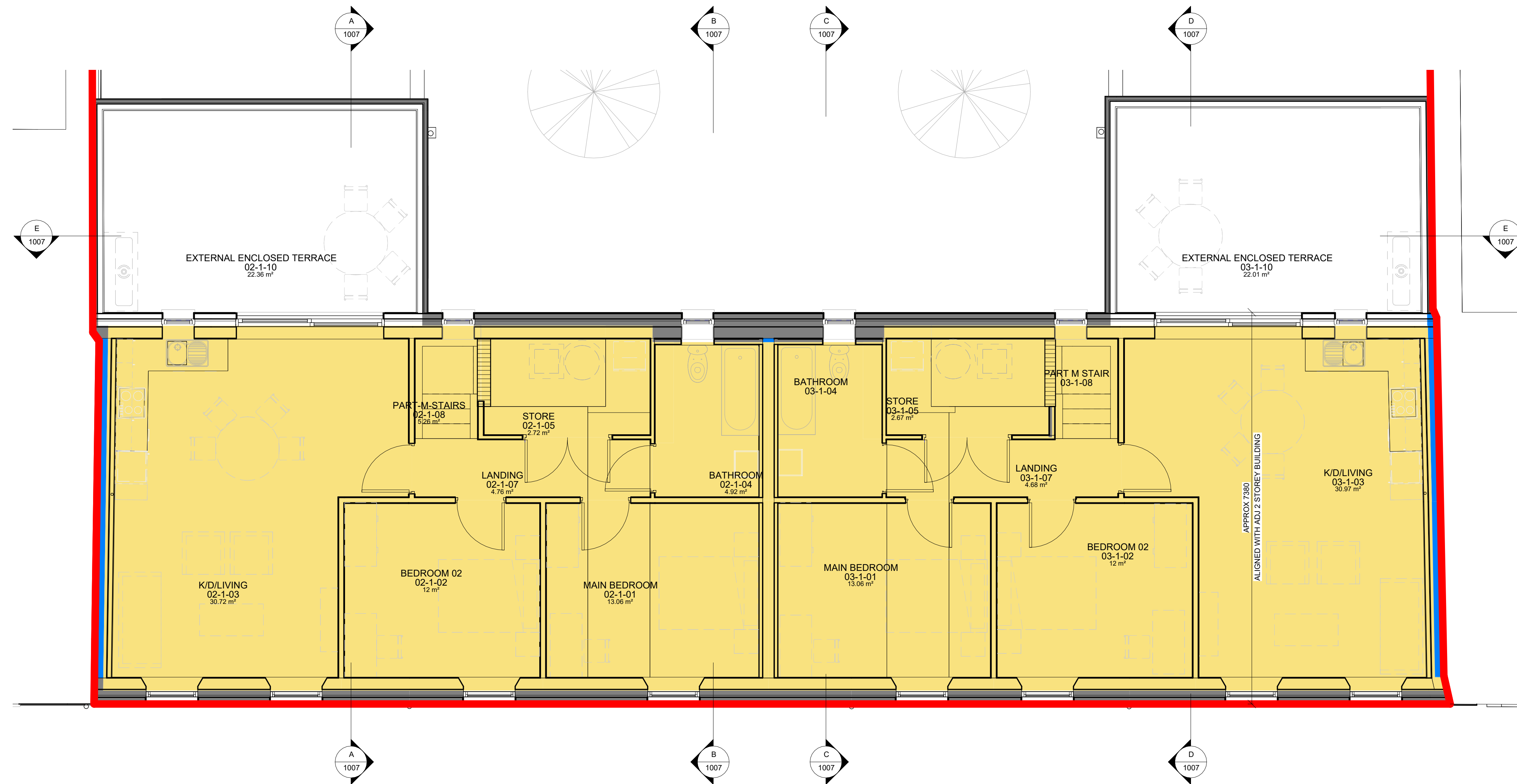
01 FFL			
03-0-04	MID FLIGHT	2.81 m <sup>2</sup>	PART M COMPLIANT
03-0-09	SHELVES	0.62 m <sup>2</sup>	PART OF STORAGE
03-1-01	MAIN BEDROOM	13.06 m <sup>2</sup>	13m2 min main double
03-1-02	BEDROOM 02	12 m <sup>2</sup>	11.4m2 min double/ AGG PROVISION 25.03M2 (MIN 25M2)
03-1-03	K/D/LIVING	30.97 m <sup>2</sup>	MIN 30M2
03-1-04	BATHROOM	4.95 m <sup>2</sup>	
03-1-05	STORE	2.67 m <sup>2</sup>	PART OF STORAGE
03-1-07	LANDING	4.68 m <sup>2</sup>	
03-1-08	PART M STAIR	2.19 m <sup>2</sup>	PART M COMPLIANT
03-1-10	EXTERNAL ENCLOSED TERRACE	22.01 m <sup>2</sup>	MIN 20M2 EXTERNAL PRIVATE AREA (BALCONY) FOR APARTMENT. MIN 1800MM HIGH GUARDING/ SCREENS ENSURE THAT THERE IS NO OVERLOOKING FROM BALCONY.

(A)-UNIT 03 (2 BED 4 PERSON) 2 STOREY OWN DOOR APARTMENT-GROSS AREA

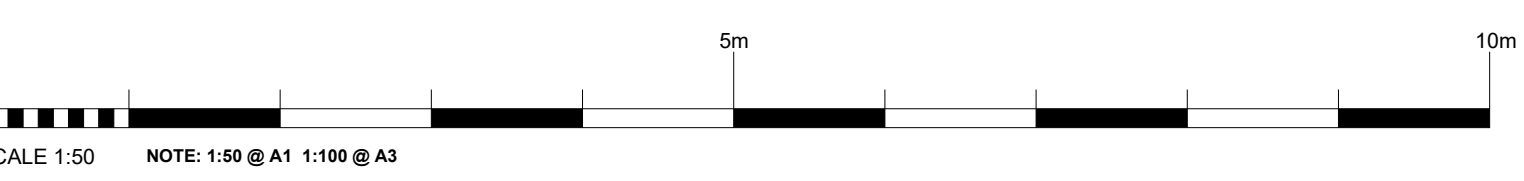
Number	Level	Name	Area	Comments
UNIT 03	00 GFL	UNIT 03 (2B 4P) ENTRANCE	7.45 m <sup>2</sup>	OWN DOOR- STREET ENTRANCE LEVEL- INTERNAL DWELLING PART M COMPLIANT STAIRWAY ACCESSED FROM HERE
UNIT 03	01 FFL	UNIT 03-(2B 4P APT)	77.28 m <sup>2</sup>	MIN 80M2 FOR 2 STOREY 2B 4P UNIT PLUS MAX 10% (8M2) 88M2

TOTAL FLOOR AREA 2 BED 4 PERSON UNIT 2 STOREY 64.73 m<sup>2</sup>  
 TOTAL FLOOR AREA 2 BED 4 PERSON UNIT 3 STOREY 84.73 m<sup>2</sup>

**2 BED 4P 2S UNIT**  
 SCALE: 1 : 50



**(ST-1) 01-1 FFL PLAN-FRONT UNITS-DETAIL**  
 SCALE: 1 : 50



STATUS KEY		Rev No.	Date	Comment
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S0	WORK IN PROGRESS			
S1	COORDINATION			
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S3	REVIEW / COMMENT			
S4	CONSENT APPROVAL			
S5	COSTING			
D1	TENDER			
D2	CONTRACTOR DESIGN			
<b>PUBLISHED</b>				
A1	IFB / RFO / DAC			
A2	CONSTRUCTION			
AB	AS-BUILT			



ARCHITECTS DEPARTMENT  
 MAYO COUNTY COUNCIL



Purpose of Issue:		<b>SINGLE STAGE SUBMISSION</b>	
Project No:	Project Title:	Dwg Type	Status:
<b>A629</b>	TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	<b>ST-1</b>	<b>S2</b>
Drawing Title:		Drawing No.	Revision:
ST-1 FIRST FLOOR PLAN- FRONT UNITS		<b>105</b>	/
Drawn By:	Author	No. - Orig - Cat - Lvl - Type - Role - No. - Status	First Issue:
Checked By:	Checker	<b>A629 - MCC - ST-1 - XX - A - 105 - S2</b>	03/08/2022





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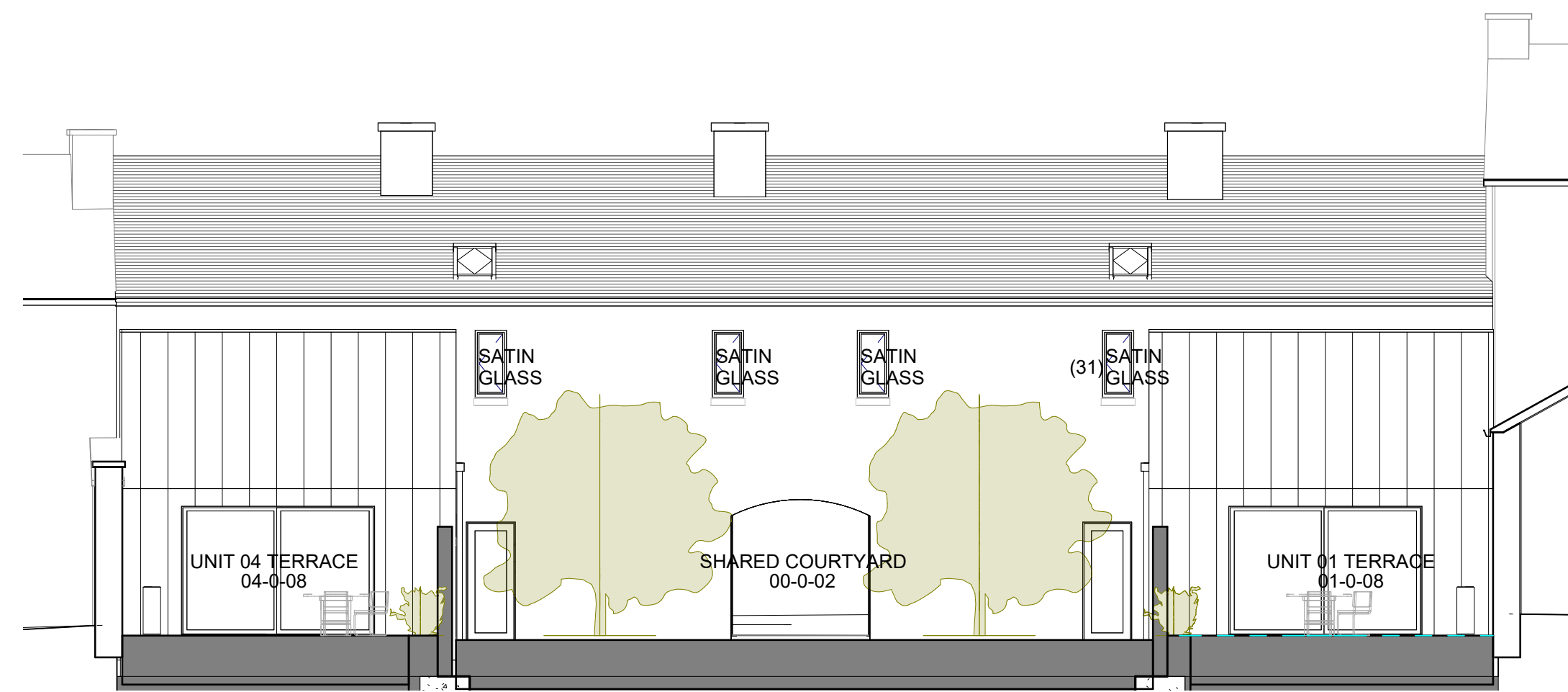


**(ST-1) EXISTING STREET ELEVATION**  
SCALE: 1 : 100



**(ST-1) PROPOSED STREET ELEVATION**  
SCALE: 1 : 100

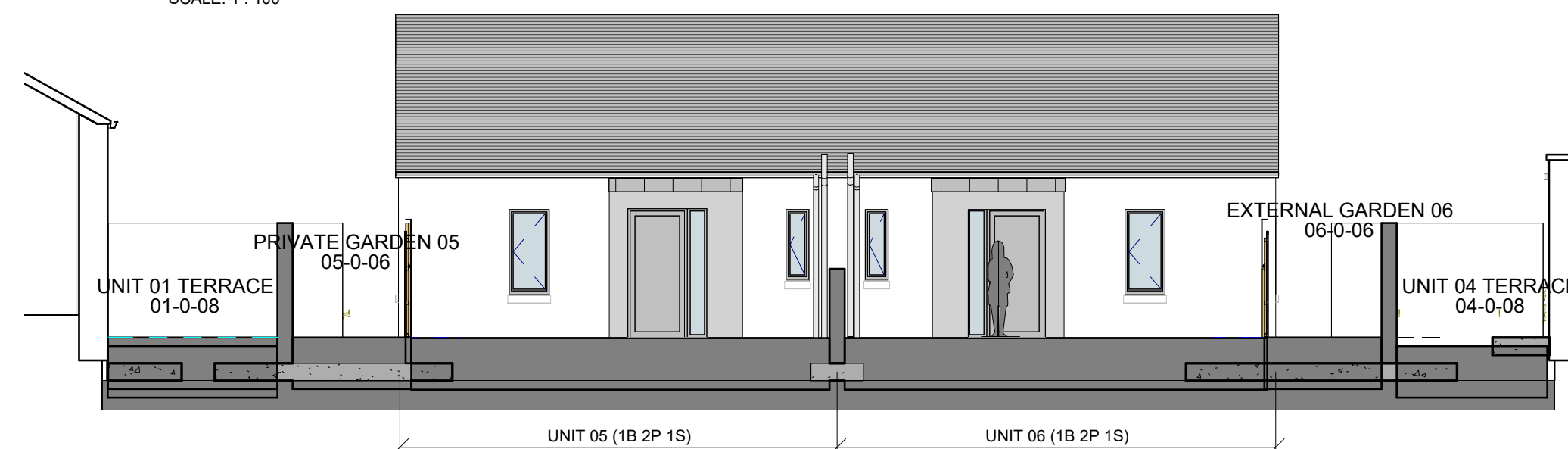
UNIT 01 (2B 3P) 1 STOREY APT      UNIT 02 (2B 4P 2S) GFL      EXTERNAL      UNIT 03 (2B 4P 2S) GFL      UNIT 04 (2B 3P) 1 STOREY APT  
ARCHED ENTRANCE



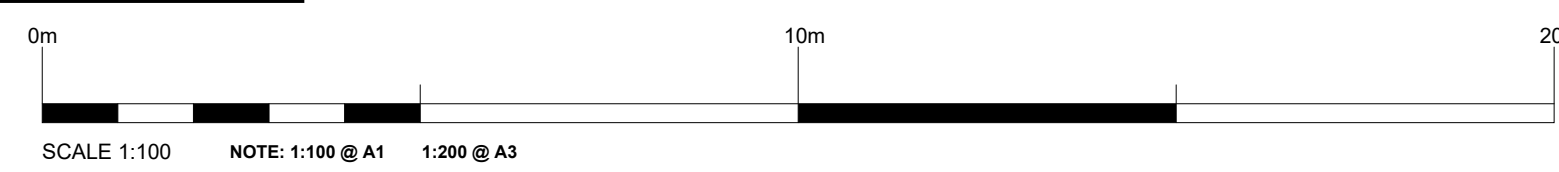
**(ST-1) REAR ELEVATION- MAIN BUILDING**  
SCALE: 1 : 100



**(ST-1) REAR ELEVATION-REAR BUILDING**  
SCALE: 1 : 100



**(ST-1) PROPOSED ENTRANCE ELEVATION- REAR BUILDING**  
SCALE: 1 : 100



Purpose of Issue: **SINGLE STAGE SUBMISSION**

STATUS KEY			
Rev No.	Date	Comment	
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S0		WORK IN PROGRESS	
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D1		CONTRACTOR DESIGN	
<b>PUBLISHED</b>			
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AB		AS-BUILT	



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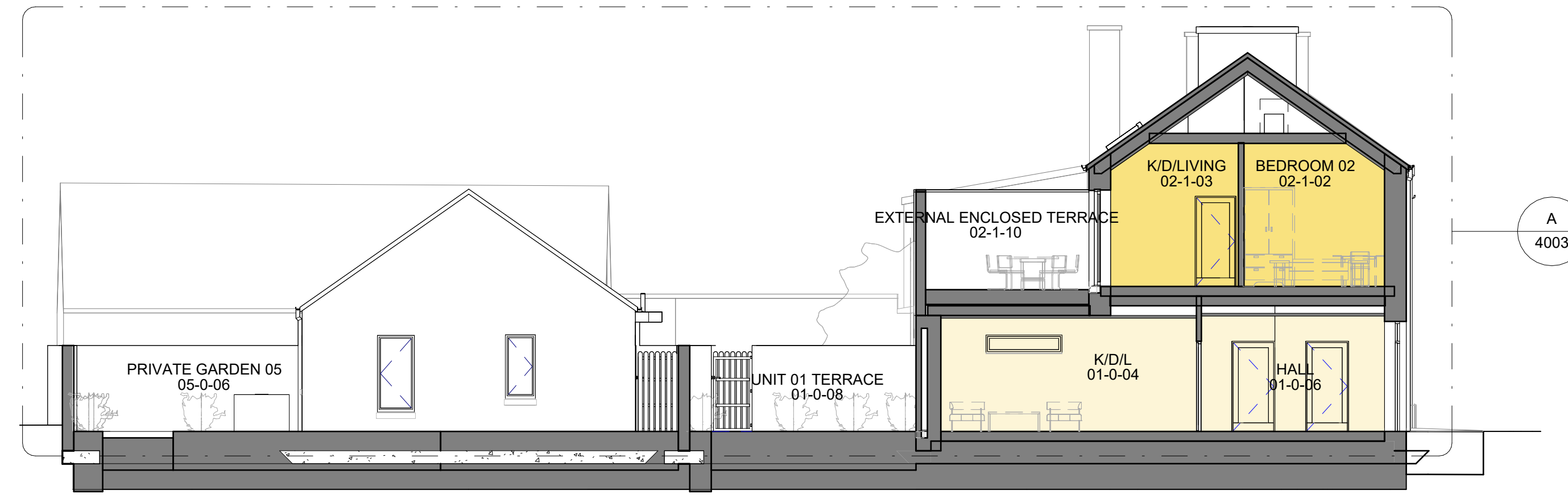


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Drawing Title: ST-1 ELEVATIONS		Drawing No. <b>106</b>	Revision: /
Drawn By: CMG	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: <b>1 : 100</b>	First Issue: 03/08/2022
Checked By: KK-SW	<b>A629 - MCC - ST-1 - XX - A - 106 - S2</b>		



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**(ST-1) SECTION A-A THRU SOUTHERN GARDENS FACING NORTH**  
SCALE: 1: 100

1 BED 2 PERSON SINGLE STOREY SEMI-DETACHED UNIT  
SUITABLE FOR SHELTERED HOUSING.  
2 NO TOTAL - UNITS 05 & 06

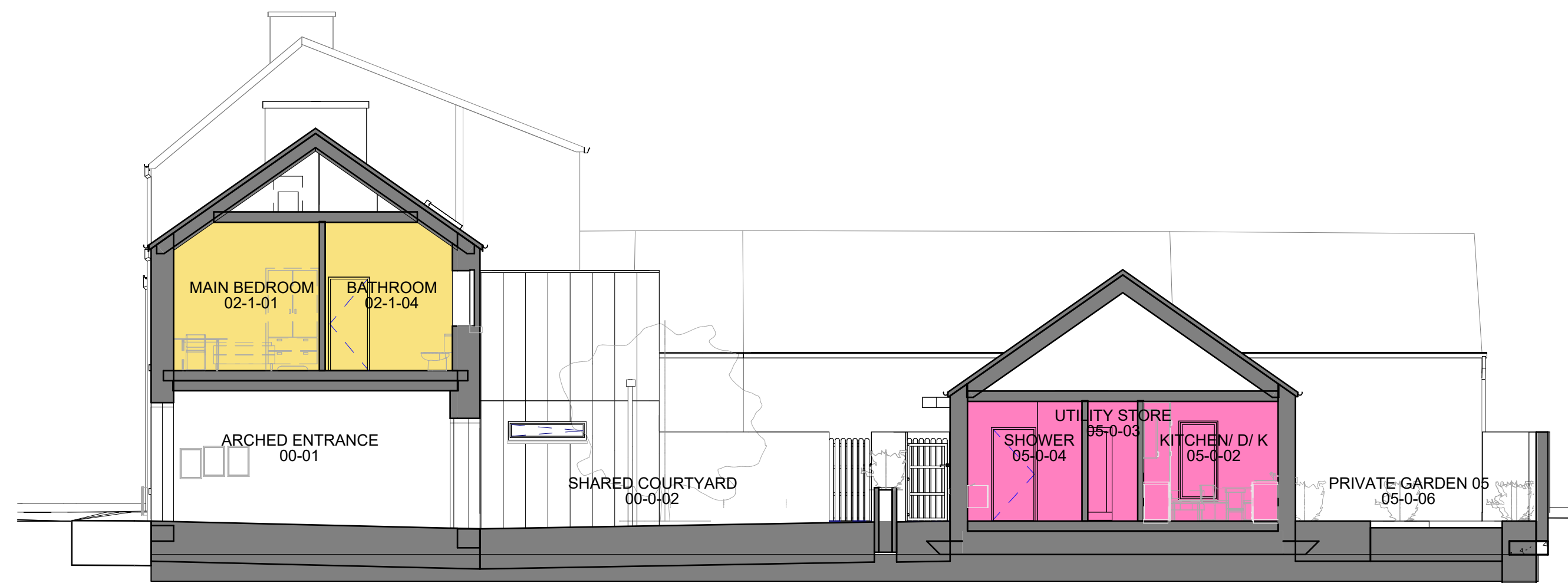
**1 BED 2P 1S UNIT**  
SCALE: 1: 100

2 BED 3 PERSON UNIT 1 STOREY APT.  
2 NO TOTAL : UNITS 01 & 04

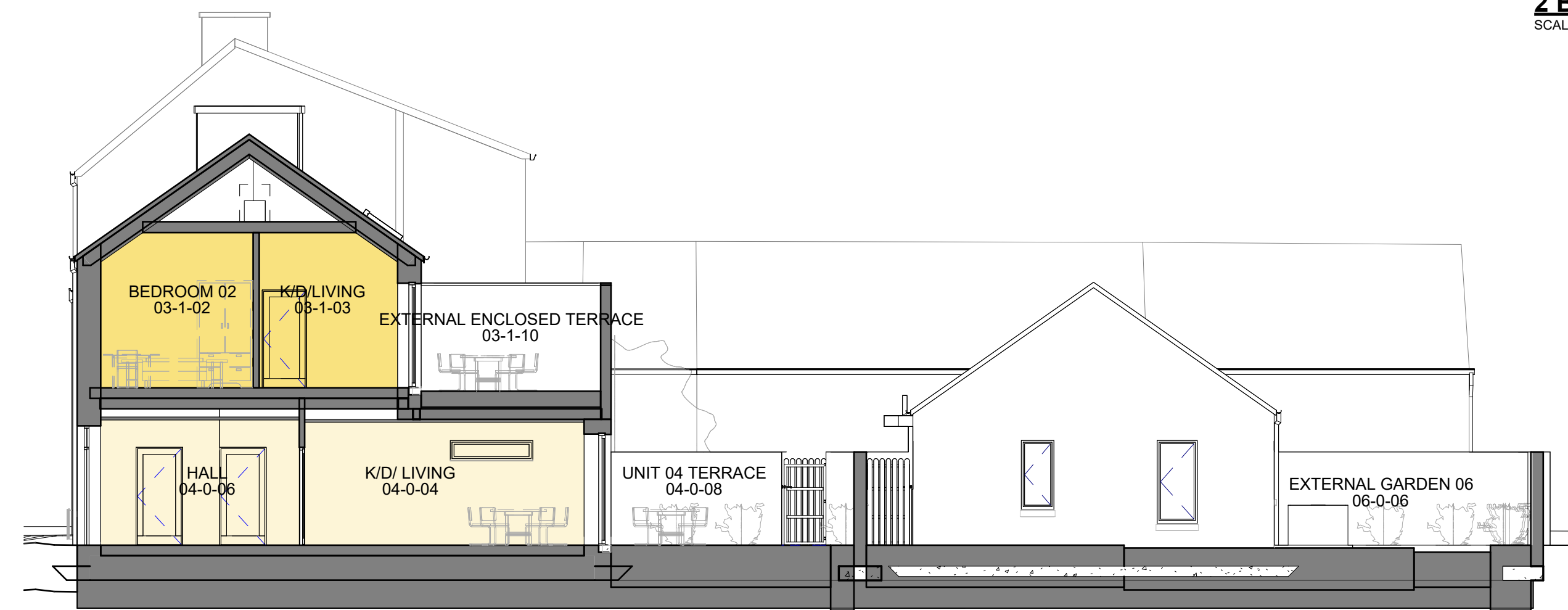
**2 BED 3P 1S UNIT**  
SCALE: 1: 100

2 BED 4 PERSON UNIT 2 STOREY APT.  
2 NO TOTAL : UNITS 02 & 03

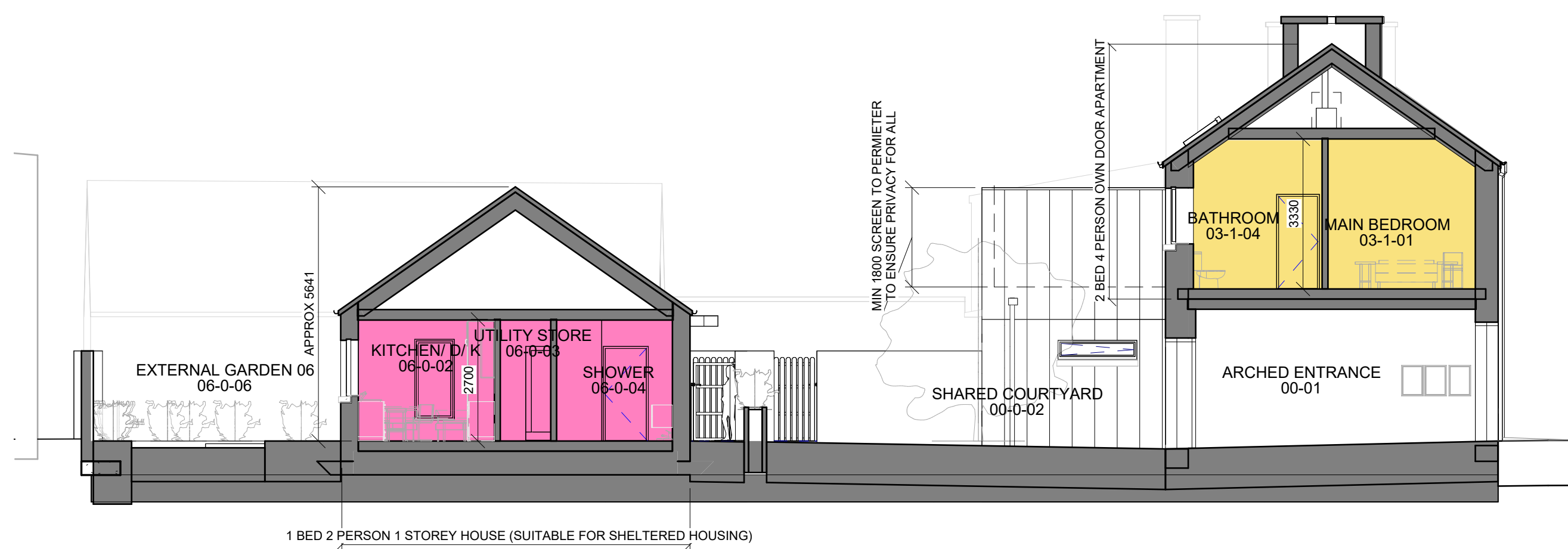
**2 BED 4P 2S UNIT**  
SCALE: 1: 100



**(ST-1) SECTION B-B THRU ARCH FACING SOUTH**  
SCALE: 1: 100



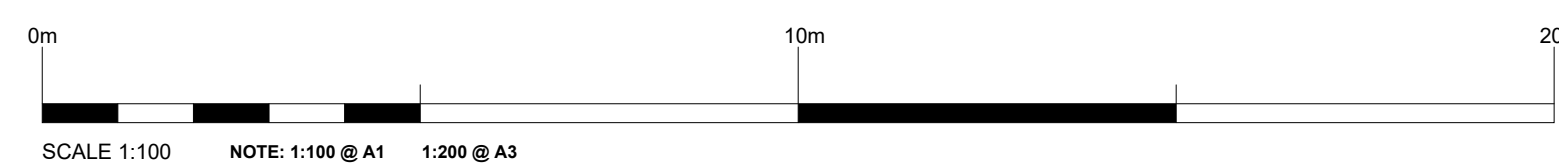
**(ST-1) SECTION D-D THRU NORTHERN GARDENS FACING SOUTH**  
SCALE: 1: 100



**(ST-1) SECTION C-C THRU ARCHED ENTRANCE FACING NORTH**  
SCALE: 1: 100



**(ST-1) SECTION E-E THRU TERRACES FACING FRONT**  
SCALE: 1: 100



Purpose of Issue: **SINGLE STAGE SUBMISSION**

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S6		TENDER	
S7		CONTRACTOR DESIGN	
PUBLISHED			
A1		IFB / FSC / DAC	
A2		CONSTRUCTION	
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Project No: <b>A629</b>	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type <b>ST-1</b>	Status: <b>S2</b>
Drawing Title: ST-1 SECTIONS		Drawing No. <b>107</b>	Revision: /
Drawn By: Author	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: <b>1: 100</b>	First Issue: 03/08/2022
Checked By: Checker	<b>A629 - MCC - ST-1 - XX - A - 107 - S2</b>		



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**(ST-1) 3D VIEW 01**

SCALE:

**NOTES:**

GENEROUS SHARED EXTERNAL COURTYARD WITH PASSIVE SURVEILLANCE PROVIDED WITH SECURE ACCESS FROM STREET THROUGH ARCHWAY. LOCATION OF ARCHWAY CENTRAL ON FACADE HOWEVER TREATMENT OF STREET FACADE WILL BREAK DOWN DEVELOPMENT INTO A NUMBER OF ELEMENTS- TREATING ARCHWAY SO THAT IT WILL BE TO THE SIDE OF ONE OF THE FACADE ELEMENTS.

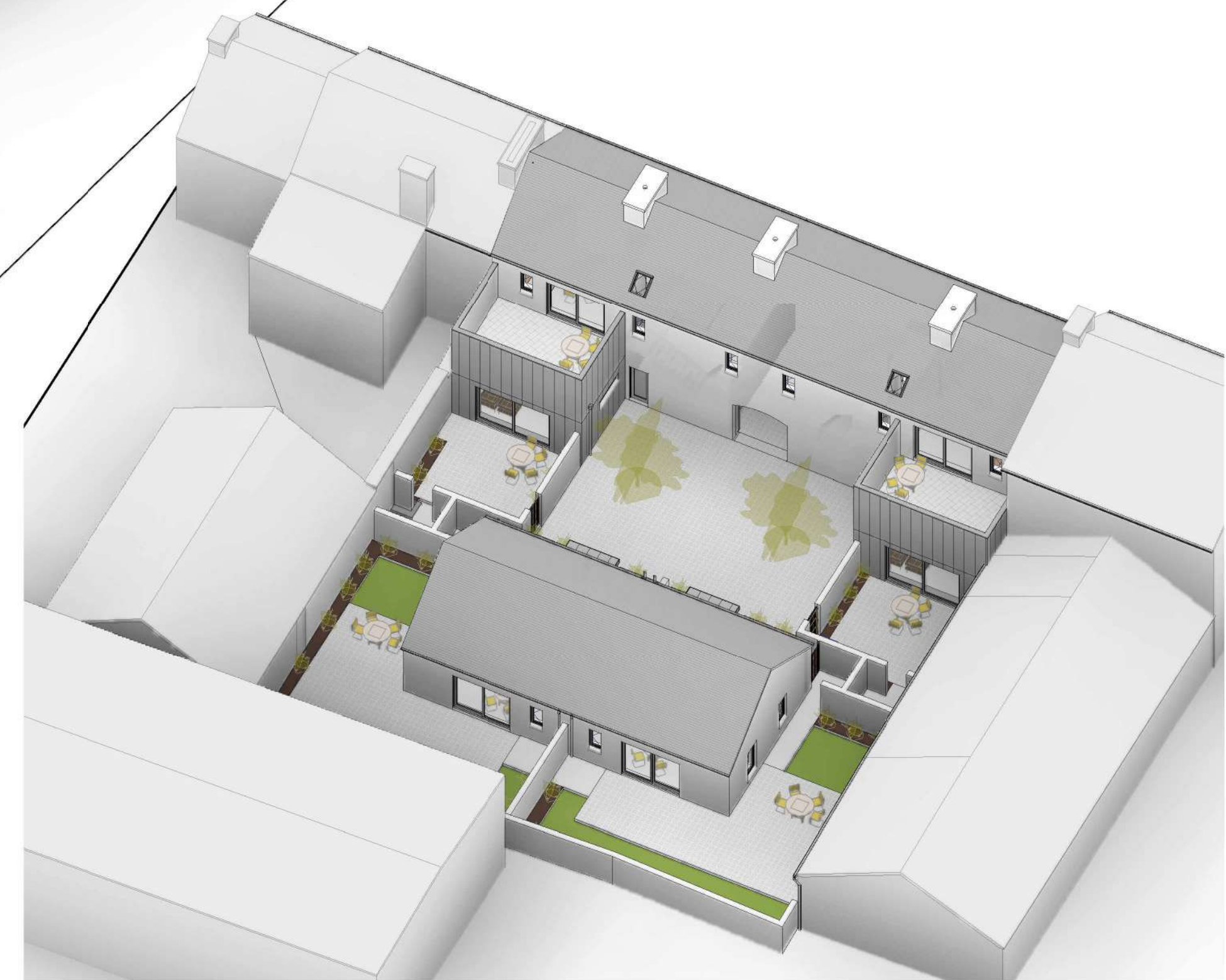
ALL UNITS ARE APARTMENTS AND HAVE PRIVATE EXTERNAL SPACE - MIN 20M2.

ALL UNITS HAVE SECURE PRIVATE BIN / BIKES ACCESSED FROM GROUND LEVEL.

PROPOSAL STREETScape HEIGHT 2 STOREY TO MATCH NORTHERN NEIGHBOUR STREET FRONTAGE

**TOTAL OF 6 NO UNITS COMPRISING:**

- UNITS 01 & 04 - 2 NO 2 BED 3P (SINGLE STOREY APARTMENT)
- UNITS 05 & 06 - 2 NO 1 BED 2P (SINGLE STOREY SEMI-D UNIT)
- UNITS 02 & 03 - 2 NO 2 BED 4P (TWO STOREY APARTMENT)



**(ST-2) 3D VIEW 02**

SCALE:

Purpose of Issue: **SINGLE STAGE SUBMISSION**

STATUS KEY		Rev No.	Date	Comment
SHARED / FOR INFORMATION				
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<b>PUBLISHED</b>				
A1	IFB / FSC / DAC			
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AB	AS-BUILT			



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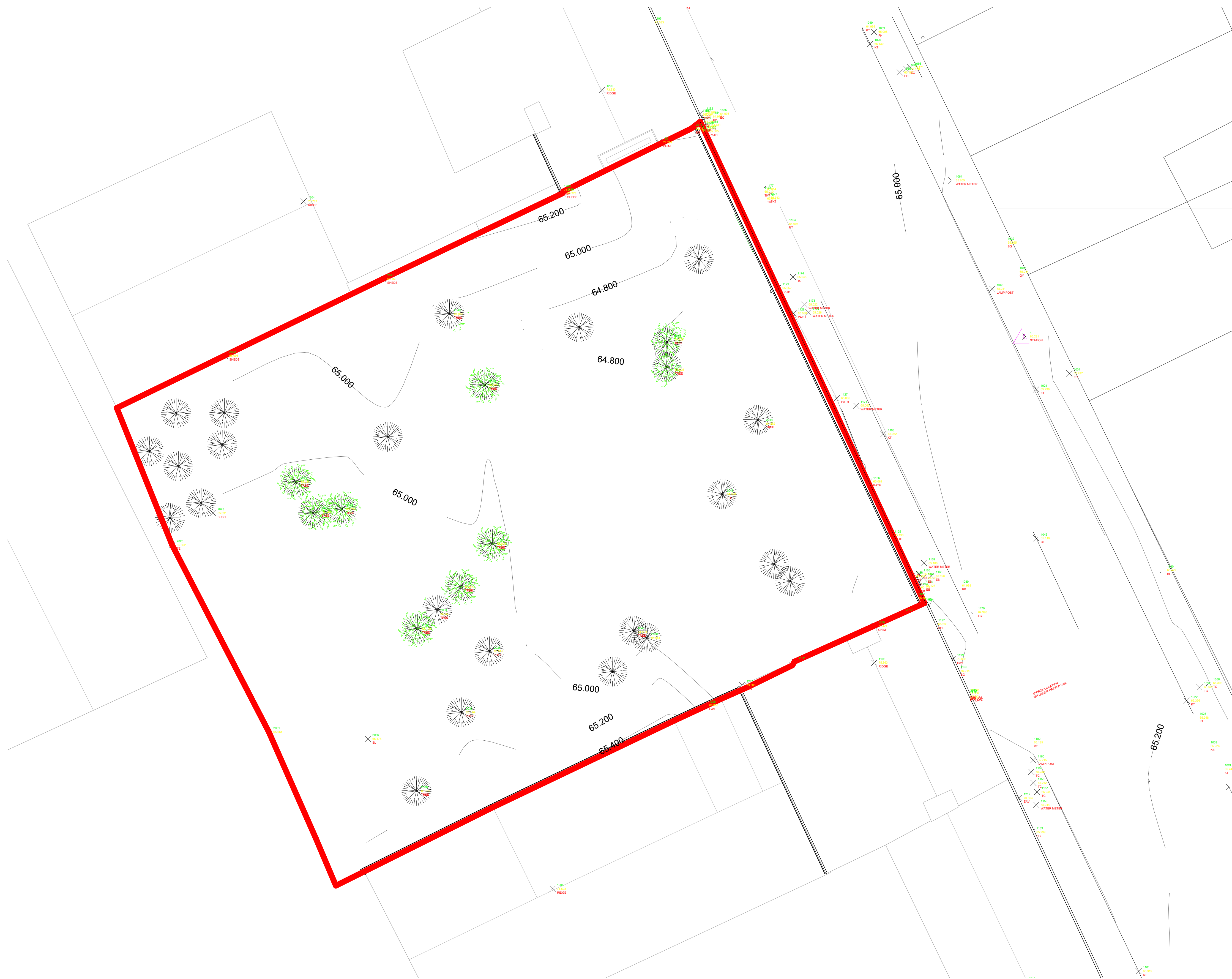
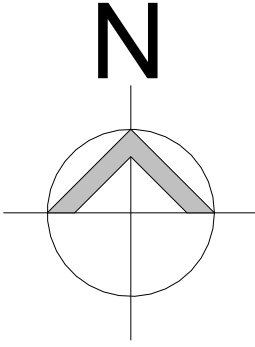


Project No: <b>A629</b>	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type <b>ST-1</b>	Status: <b>S2</b>
Drawing Title: ST-1 3D VIEWS		Drawing No. <b>108</b>	Revision: /
Drawn By: CMG	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale:	First Issue: 03/08/2022
Checked By: KK	A629 - MCC - ST-1 - XX - A - 108 - S2		



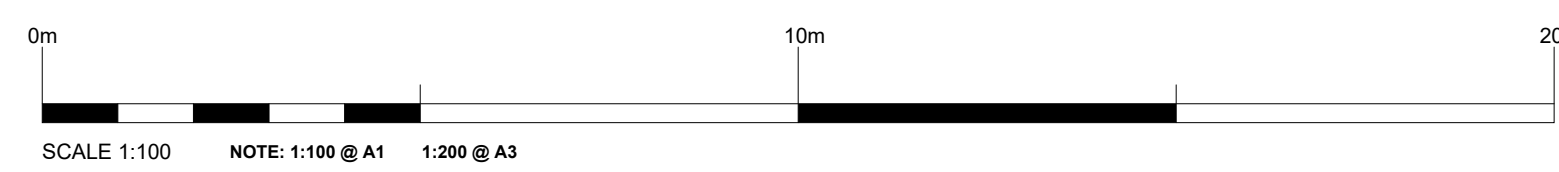
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LEGEND	
	SITE BOUNDARY OUTLINED IN RED. AREA APPROX 793M2 (0.0793 HA) ITM Site Co-Ordinates = 534000,775100 Total Number of Units = 6
	AREA UNDER APPLICANTS OWNERSHIP OUTLINED IN BLUE
	LOCATION OF SITE NOTICE
	HATCH DENOTES EXISTING BUILDING NOT IN APPLICANTS OWNERSHIP

**(ST-1) EXISTING SITE PLAN**  
SCALE: 1:100



Purpose of Issue: **SINGLE STAGE SUBMISSION**

STATUS KEY	
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AB	AS-BUILT



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Project No: <b>A629</b>	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type: <b>ST-1</b>	Status: <b>S2</b>
Drawing Title: ST-1 EXISTING SITE PLAN	Drawing No. <b>109</b>	Revision: /	First Issue:
Drawn By: RK/CM	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: <b>1:100</b>	03/08/2022
Checked By: CM	<b>A629 - MCC - ST-1 - XX - A - 109 - S2</b>		



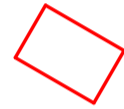
**Do not scale this drawing.** Written dimensions only to be used.

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Rev No.	Date	Comment

**SITE AMENITIES LEGEND**

**ITM COORDINATES**  
E 533992, N 775104



**AREA OF SITE**  
0.196 ACRES / 793 SQM / (0.079 HA)



**PUBLIC AMENITY** - school, playing pitches, leisure



**RETAIL**



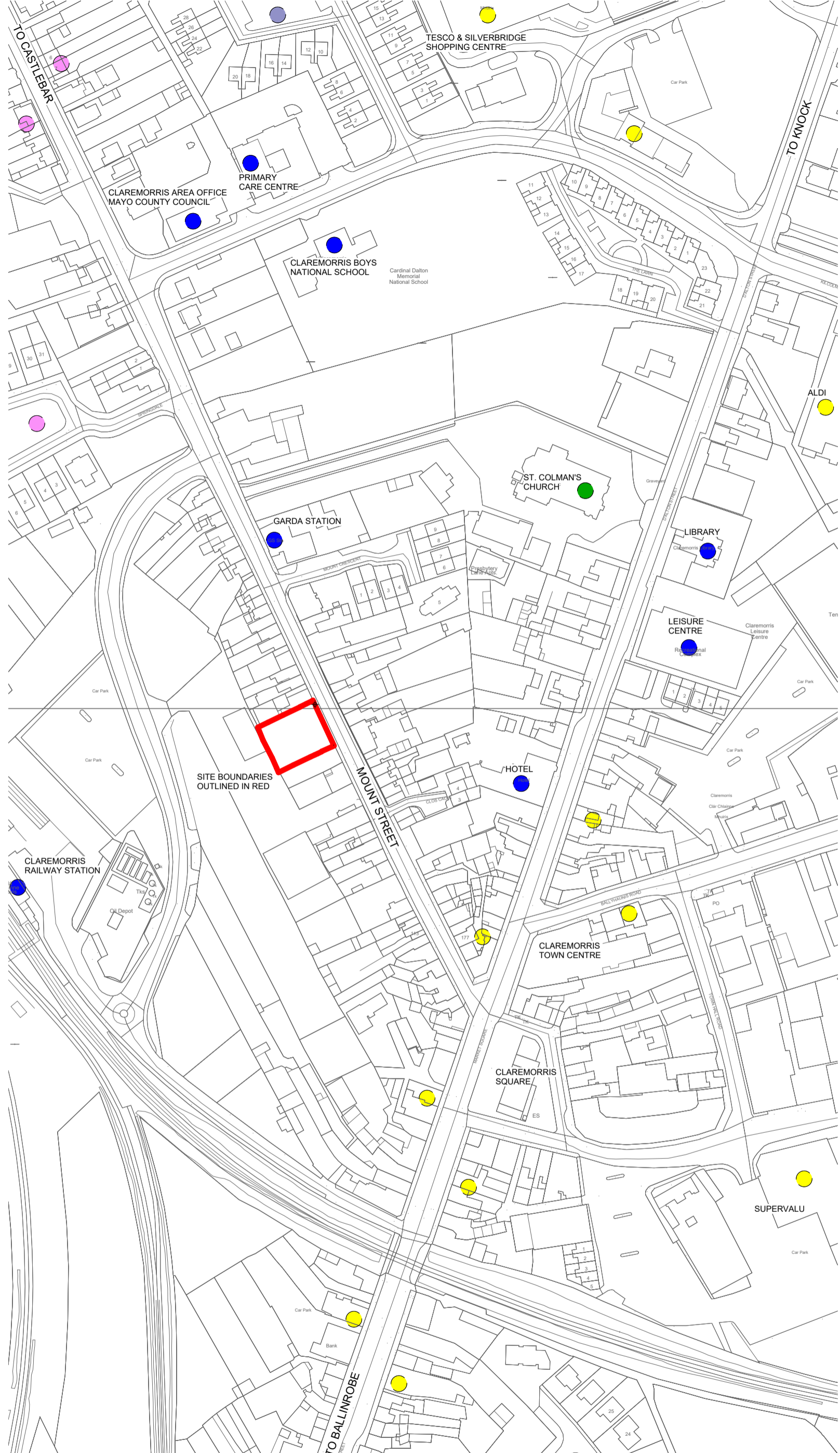
**CHURCH**



**PRIVATE RESIDENTIAL**



**PUBLIC RESIDENTIAL**



**(ST-1) AMENITIES MAP**

SCALE: 1 : 2000

**SINGLE STAGE SUBMISSION**

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S0	WORK IN PROGRESS
S1	COORDINATION
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S3	REVIEW / COMMENT
S4	CONST. APPROVAL
S5	COSTING
D1	TENDER
D2	CONTRACTOR DESIGN
D3	CONTRACTOR DESIGN
PUBLISHED	
A1	PTS / FSD / DAC
A2	CONSTRUCTION
AB	AS-BUILT



**ARCHITECTS DEPARTMENT**  
**MAYO COUNTY COUNCIL**



<b>Project No:</b> A629	<b>Project Title:</b> TOWN RESIDENTIAL DEVELOPMENT MOUNT ST. CLAREMORRIS	<b>Dwg Type:</b> ST-1	<b>Status:</b> S2
<b>Drawing Title:</b> ST-1 AMENITIES MAP	<b>Drawing No.:</b> 110	<b>Revision:</b> /	<b>First Issue:</b> 03/08/2022
<b>Drawn By:</b> DC	<b>Checked By:</b> MS	<b>Scale:</b> As indicated	<b>Mayo.ie</b>

**APPENDIX B**

**JAPANESE KNOTWEED MANAGEMENT PLAN**

**Japanese Knotweed Management Plan**  
**Removal of Affected Soils to Licenced Soil Recovery &  
Biosecurity Documents**



**Site Removal Address: Mount Street, Claremorris, Co Mayo**

**Client: Mayo County Council**

**Prepared By: The Japanese Knotweed Company, Co. Kerry**  
Doc. File Name: 381-03/ JKC21

Created - March 10<sup>th</sup> 2021

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- 1.3 Limitations and threats to management objectives
- 1.4 Inventory of the site
- 1.5 Legislative framework
- 1.6 Guidance documents
- 1.7 Invasive Species

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- 2.3 Preventing further spread

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- 3.2 Management options
- 3.3 Biosecurity
- 3.4 Actions planned on site
- 3.5 How actions will be evaluated
- 3.6 Resource needs
- 3.7 Results of evaluations
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- Table 3 Implementation schedule

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- Appendix C Environmental risk assessment
- Appendix D COSHH – Control of Substances Hazardous to Health Assessment
- Appendix E Location of Japanese Knotweed map



## **1. Introduction to Site**

### **1.1 Description of Site**

This site is located at Mount Street, Claremorris, Co Mayo, The Japanese Knotweed Company carried out intrusive ground investigations by means of slit trenching at the above address on February 15<sup>th</sup> 2021.

Prior to the excavator being imported to site to carry out these intrusive ground investigative works, a thorough biosecurity assessment was undertaken on this machine by Mr Peter Byrne of TJKC. A bio-secure area was set up at the rear entrance of the site, footbaths were put in place and a clean down zone for the excavator was erected.

Japanese Knotweed was initially identified on this site by Mayo county council representatives in 2016, a herbicide treatment programme was undertaken by Mayo county council and administered to the Japanese Knotweed on this site over a period of 4 years.

Large crowns and canes are present throughout the areas of infestation and the rhizome root material that is present in the soils within these areas is viable. The footprint of this site measures 805m<sup>2</sup>, the slit trenching carried out on this site has identified 530m<sup>2</sup> of this footprint to be infested with viable rhizome root material – Please see site location map included in this document – area of infestation hatched in red.

13 slit trenches were excavated to varying depths, the deepest excavated trench being 2.3m, no viable rhizome was located below a depth of 1.2m. 65% of the rhizome is present within the top 0.450m of soils, this top 0.450m of soils comprises of rich black soil and sandy loam, the remaining soils located between 0.450m and 2.3m comprise of wet and stony clay ground.

As the depth of rhizome located throughout these site investigations varies from between 0.800m to 1.2m, it can be estimated that the average soil removal depth required at this site would be 1m throughout the 530m<sup>2</sup> of identified affected soils, giving a volume of 530m<sup>3</sup> of affected soils to be removed.

530m<sup>2</sup> x 0.450m = 238.5m<sup>3</sup> (Rich black soil & sandy loam 0.450m) conversion rate to tonne used for these soils is 1.6 – 238.5m<sup>3</sup> x 1.6 = 381.6 tonne

530m<sup>2</sup> x 0.550m = 291.5m<sup>3</sup> (Wet & stony clay ground 0.550m) conversion rate to tonne used for these soils is 1.8 – 291.5m<sup>3</sup> x 1.8 = 524.7 tonne

### **Total tonnage for removal from site 906.3 tonne**

The slit trenches at the Northern boundary identified live rhizome material to be present beneath the limestone boundary wall, live rhizome was also identified along the Southern boundary beneath the foundation of a concrete built storage shed. The neighbouring property at the Western boundary of this site, comprises of a concrete yard and storage sheds, live rhizome was also identified to be present in the soils of this neighbouring property.

Should the identified affected soils be removed from this site a vertical Geotextile root barrier membrane will be required to be inserted at the Northern, Western and Southern boundaries, this membrane would be required to be inserted at a minimum depth of 2.5m.

The recommended root barrier that is to be placed at the Northern and Southern boundaries should be inserted approximately 0.750m from the neighbouring structures to allow any viable rhizome that

maybe present beneath these structures to be accessed and subjected to a herbicide treatment plan, all soils within the 0.750m could be incorporated into a landscaping detail for this site. Please note, a Structural Engineers detail will be required to ensure that the neighbouring properties are not in any way undermined in the process of the insertion of these vertical Geotextile root barriers.

It is understood that this site is planned for the construction of housing, site constraints do not allow for any on-site treatment options, such as a deep burial or an above ground bund to take place on this site. In order to create a site completely free of Japanese Knotweed and to allow for the planned construction work to proceed unhindered, it is recommended that all affected soils be removed under licence from the National Parks & Wildlife Services to a licenced soil recovery facility.

This management plan is to be used as part of the application to NPWS to raise a removal and transportation licence. This is a requirement for removing or transporting soils containing non-native invasive plant material as set out in the third schedule under regulations 49 & 50.

### **1.2 Site Management Objectives**

The site objectives relevant to this management plan is to create a site free of Japanese Knotweed, and for the Japanese Knotweed to pose no further threat to the site as a whole, and to the surrounding environment and biodiversity of the area.

### **1.3 Limitations and threats to management objectives**

The location of this Japanese Knotweed currently poses a threat to this site, the neighbouring properties and to the surrounding environment and biodiversity of the area. No onsite remediation programme is available to these affected soils due to site constraints.

The biosecurity measures outlined in this management plan must be adhered to at all times to limit any cross contamination or further threat to this site. All biosecurity measures outlined for this site will be implemented by a certified surveyor in non-native invasive plants or suitably qualified personnel.

### **1.4 Inventory of the Site**

This site is located at Mount Street, Claremorris, Co Mayo and is a vacant site with no onsite inventory to record

### **1.5 Legislative Framework**

At an international level Ireland has signed up to a number of treaties and conventions, including the **Convention on Biological Diversity**. Such treaties and conventions require the Irish Government to address issues of invasive alien species. This has been implemented through the **Wildlife Act 1976 and 2000** and further regulated through the **European Communities (Birds and Natural Habitats) Regulations 2011 (SI 477 of 2011)**

#### **Regulation 49**

‘a person shall be guilty of an offence if they: plant; disperse; allow or cause to disperse; spread or cause to grow the plant in the Republic of Ireland’. The list of species in the Third Schedule includes Japanese Knotweed, Giant Knotweed and their hybrid Bohemian Knotweed.

#### **Regulation 50**

‘an offence to or intend to; import; buy; sell; breed; reproduce or propagate; offer or expose for sale; advertise; publish a price list; transport; and distribute any plant species or vector material listed in the Third Schedule’.

Non-native species subject to restrictions under Regulations 49 and 50 are included in the third schedule of the European Communities (Birds and Natural Habitats) Regulations 2011 (S.I 477 of 2011). The invasive species listed in the Third Schedule include: Japanese Knotweed, Giant Knotweed, Giant Rhubarb, Himalayan Balsam, Himalayan Knotweed, Bohemian Knotweed and Rhododendron.

The vector material (i.e. facilitates spread), referred to in the regulations (Third Schedule Part 3) which applies to Knotweed species is:

“Soil or spoil taken from places infested with Japanese Knotweed, Giant Knotweed or their hybrid Bohemian Knotweed”

The Waste Management Act 1996, as amended and associated regulations must be complied with if Japanese Knotweed contaminated material is to be moved off site.

It is a requirement to dispose of this material to a fully licenced waste facility, capable of accepting such contaminated material. This disposal requirement applies to all Japanese Knotweed material including untreated and treated plant material. It also applies to soil containing the plant material, i.e. a 7m radius around the above ground stand and up to 3m deep below the stand, this is site specific.

If Japanese Knotweed contaminated material is removed off site it will require a **licence from the National Parks and Wildlife Service** in advance of any removal, in accordance with the European Communities (Birds and Natural Habitats) Regulations 2011 (SI 477)

### 1.6 Guidance Documents

The following guidance documents and literature sources were consulted during the preparation of this report:

- National Roads Authority NRA (2010). *Guidelines on management of noxious weeds and non-native invasive plant species on national roads.*
- Crushell, P., Foss P., Hurley C. & O’ Loughlin B. (2011). *County Kerry Invasive Species Survey 2011 – Pilot Mapping Study of the River Lee Catchment, Tralee.* Report prepared for Kerry County Council and The Heritage Council
- Environmental Agency (UK) (2013). *The Knotweed Code of Practice: Managing Japanese Knotweed on Development Sites (Version 3, amended in 2013)*
- Stokes, K., O’ Neill K., & McDonald R.A. (2004) *Invasive Species in Ireland* Unpublished Report
- NPWS (2011) *Actions for Biodiversity 2011-2016, Irelands second National Biodiversity Plan.* Department of Arts Heritage and the Gaeltacht.
- Department of Environment (2013). *An invasive alien Species Strategy for Northern Ireland.* [www.doeni.gov.uk](http://www.doeni.gov.uk)
- Irish Water Report. *Information and Guidance Document on Japanese Knotweed Asset Strategy and Sustainability*

## 1.7 Invasive Species

The convention on Biological Diversity defines an alien invasive species as '*an alien species which become established in natural or semi-natural ecosystems or habitats, is an agent of change and threatens native biological diversity*'. The terrestrial invasive plant species Japanese Knotweed was recorded on site and a species account is described below:

**Japanese Knotweed** is a tall vigorous ornamental plant that escaped cultivation in the late nineteenth century and has since become an aggressive invader in both rural and urban environments. The plant can grow up to 2-3 metres high and its root system can extend as deep as 3 metres into the ground and 7 metres laterally from the parent plant. The reason this plant is such a threat is due to the nature of its regeneration. Cut fresh stems can produce fresh shoots and roots from nodes when immersed in soil or water. Japanese Knot weed is one of the highest risk non-native invasive species in Ireland. The negative impacts of this species include disruption to sight lines on roads and railways, out-competing native flora and damaging tarmac and paved surfaces.

## 2.1 Brief description of management plan

A certified surveyor or otherwise suitable qualified personnel, will oversee the implementation of the biosecurity measures outlined within this document. All affected soils will be removed under the direction of the surveyor and transported to the soil recovery facility under licence from the National Parks & Wildlife Services.

These soils will be placed in sealed vehicles and transported under national waste collection permits in conjunction with the National Parks & Wildlife Services licence. Under no circumstances should any soil removal works commence at this site without the NPWS licence being granted.

All factors specific to this site have been taken into consideration and the treatment programme outlined in this management plan have been identified as the most environmentally effective while accounting for the biodiversity of the surrounding area in general. This management plan details the most economically efficient treatment methods available to this site.

***Please note: Management records and biosecurity records to be updated on a daily basis and attached to the management plan, all records to be signed and dated.***

## 2.2 Setting Priorities

The confirmed location of the Japanese Knotweed infestation identified on this site at Mount Street, Claremorris, Co. Mayo should not have any works carried out without a certified surveyor of invasive plants being present to ensure that no Japanese Knotweed material further infests this site or escapes off site.

No soils are to be removed from the infested areas until the contractor has obtained a removal and transport licence from the NPWS

A buffer zone of 7 metres will be required to be erected on the commencement of the removal of the soils affected with Japanese Knotweed. This buffer zone will need to be clearly identified with fencing and signage, no works are to be carried out inside this buffer zone without the presence and the supervision of a certified surveyor of invasive plants on site.

A certified surveyor or similarly qualified personnel will need be present at this site to oversee the soil removal and to insure that all essential biosecurity measures are implemented fully at Mount Street, Claremorris, Co. Mayo. These biosecurity measures as outlined in the biosecurity section of this document will need to be adhered to at all times and will also need to remain in place for the duration of the earth works at no time should vehicles or personnel breach the 7 metre buffer zone without a certified surveyor in invasive plants being present.

***Please note: Management records and biosecurity records to be updated on a daily basis and attached to the management plan, all records to be signed and dated.***

### **2.3 Preventing further spread – High priority**

Ensure all site users are aware of invasive species, management plan and treatment methodologies, this will be achieved through tool-box talks before work begins on the site  
Biosecurity – during the planned removal works all plant and machinery used in the infested areas will be regularly cleaned and checked for any rhizome or plant debris to ensure no cross contamination occurs.

The Japanese Knotweed identified area will be fenced off and sign posted during this process, using standard awareness signage. Access pathways will be clearly identified as will any clean down zones. All vehicles entering and exiting the site will need to be thoroughly inspected and cleaned down to ensure no cross contamination occurs within the site or outside of the site.

Under no circumstances should any affected soils be removed from this site without the management plan being updated and a licence from the National Parks & Wildlife Services being obtained. Please be aware of current legislation with regard to the removal of soils containing invasive plant material.

As soils and hard core material will be imported to this site for the purpose of backfilling and reinstatement works, it is vital that these materials are inspected at source, to ensure that no non-native invasive plant material is imported to site. Should this precaution not be undertaken imported materials will pose further risk to site.

## **3. Specific controls plans for Japanese Knotweed**

### **3.1 Management Objectives**

A suitable qualified surveyor in invasive plants will be responsible for ensuring that this management plan is implemented on the site at Mount Street, Claremorris, Co. Mayo  
The contractor awarded these works will furnish a completed management plan attaching all relevant documentation and updates for transparency to all relevant parties.

### **3.2 Management Preferred Options specific to this site**

- Certified surveyor to oversee all essential biosecurity
- Certified surveyor to oversee the removal of affected soils.
- Certified surveyor to oversee the erection of fencing, signage and the restricted access zone to this site where the infestations of Japanese Knotweed are present.

These options were chosen as the most sustainable both environmentally & economically

### **3.3 Biosecurity Measures & Site Hygiene Practices**

- The vehicles to be used for the transportation of the soils are required to have a covered back carriage body, soils to be 200mm below the edge of the carriage body
- A drop curtain must be in place on each vehicle prior to the commencement of loading
- 7 metre buffer zone from the identified infestation of Japanese Knotweed to be clearly fenced off and signage erected
- Tool box talk on invasive plant material to be provided to all relevant personnel involved in the works being undertaken
- A certified surveyor to oversee all biosecurity measures are implemented in full
- No unauthorised personnel to be admitted within the 7 metre buffer zone
- On site foot baths and clean down zones to be provided as footwear acts as a vector for the spread of invasive plants
- All machinery being brought to site must be inspected for any soils that may contain invasive plant material before being allowed to enter the work zone
- At no time should the excavators or vehicles involved in the earth works breach the 7 metre buffer zone – should it be necessary for an excavator to work within the 7 metre zone, a certified surveyor in invasive plants should be present – should this situation arise the excavator must be inspected and cleaned under the supervision of the certified surveyor
- No vehicles to be allowed to leave site without being thoroughly inspected and cleaned
- All clean down areas must be clearly identified and a suitable membrane put in place to protect the soils beneath from further infestation
- All membranes used for the clean down zones and footbath areas will be transported to the soil recovery facility on completion of these soil removal works at the affected site

***Please note: Management records and biosecurity records to be updated on a daily basis and attached to the management plan, all records to be signed and dated.***

### **3.4 Actions Planned**

All works will be carried out in accordance with this management plan, should this management plan need to be amended due to any unforeseen constraints, these changes must be documented, dated and signed by a certified surveyor of invasive plants.

The identified infestations of Japanese Knotweed including a minimum 7 metre buffer zone to be fenced off with signage put in place clearly stating the presence of Japanese Knotweed all access to this area is to be restricted, these actions must be carried out prior to any earth works or soil disturbance taking place

A certified surveyor must be present while the soil removal works take place to ensure this management plan is executed as intended. Records of all inductions and biosecurity checks must be documented and attached to this management plan for transparency. Clear signage must be erected throughout the site warning of the dangers of cross-contamination that are posed by the invasive plant Japanese Knotweed.

### **3.5 How actions will be evaluated**

The certified surveyor will conduct monitoring prior to any works being carried out to act as a baseline for future monitoring. Recording sheets will document any further visits and action taken.

### **3.6 Resources required to design & create management plan**

- Full site survey & intrusive ground investigations carried out 15/02/2021
- Site investigation report 19/02/2021
- Design & creation of site specific management plan 10/03/2021

### **3.7 Results of evaluations**

Site inspection forms contained within the appendix, this activity is carried out during the process. An audit trail shall be part of the completion package.

### **3.8 Post Monitoring**

On completion of the soil removal works a 3 year post monitoring programme will be undertaken, the site will be inspected twice yearly throughout the growing season.

## **4. Summary of Information**

<b>Table 1</b>	<b>Priority Areas</b>	<b>Risk</b>
Japanese Knotweed	Site as a whole	High Risk

<b>Table 2</b>	<b>Control Methods</b>	<b>Risk</b>
Japanese Knotweed	Dig and removal of infested soils – Transportation of soils under licence from NPWS to licenced soil recovery facility	Medium Risk
Japanese Knotweed	A vertical root barrier will be required to be inserted between this site and the neighbouring properties to ensure that re infestation does not occur from outside the confines of the site	Medium Risk

Table 3	Implementation Schedule
<b>Phase 1:</b> Initial site survey	Completed on 15/02/2021
<b>Phase 2:</b> Intrusive ground investigations	Completed on 15/02/2021
<b>Phase 3:</b> Herbicide Treatment	Administered by others 2016-2020
<b>Phase 4:</b> Design and creation of management Plan	Completed on 10/03/2021
<b>Phase 5:</b> Application for licence to NPWS	To be Confirmed
<b>Phase 6:</b> Enabling works / Tool box talks/fencing & signage	To be Confirmed
<b>Phase 7:</b> Commencement of soil removal works	To be Confirmed
<b>Phase 8:</b> Completion of soil removal works & validation	To be Confirmed
<b>Phase 9:</b> All recording sheets & documentation to be attached to this management plan	All attachments to be added on completion
<b>Phase 10:</b> Post monitoring	Twice yearly for a minimum of 3 years on the completion of the soil removal works



**Appendix A**

**Daily Onsite Biosecurity & Management Forms**

<b>Date:</b>		
<b>Inspected by:</b>	Initial:	Sign:
<b>Site:</b>		
<b>Client:</b>		

	Yes	No	Comment
<b>Transport routes free of soils/debris</b>			
<b>Fencing</b>	Still in place	Damaged/Removed	Comment
<b>Clear Signage</b>	Still in place	Damaged/Removed	Comment
<b>Clean Zones Inspected</b>	Yes	No	Comment
<b>All Machinery/Plant inspected</b>			
<b>Have any vehicles left or entered the site ?</b>			
<b>Is the site secure?</b>			
<b><u>Notes/Comments</u></b>			

**A new form is to be used on each working day – it must be signed and dated by the appointed certified surveyor – it must be attached to the management plan at all times for transparency**

### Appendix B: Site Herbicide Record Sheet

<b>Date:</b>			
<b>Inspected by:</b>	Initial:	Sign:	
<b>Site:</b>			
<b>Client:</b>			

Dose of Product	Volume Applied	Product Quantity	Total area Treated	Start Time	Finish Time

Names / Certificate Nos of Other Operators	

PPE	WORN
Gloves	
Boots	
Coverall	
Apron	
Face Shield	
Hard Hat	
Respirator	

<p><b>Notes:</b> Harvest interval, exclusion period, problems, equipment faults/repairs, notification of neighbour</p> <p>Technicians need to be fully qualified in PA1, PA6, PA6 AW &amp; PA6 ING – Must also be a registered pesticide user</p> <p>Registered Pesticide Number _____</p> <p>Signed By: _____</p>	<b>Wind Direction</b>	N	NE	E	SE	S	SW	W	NW
	<b>Wind Speed</b>	Nil	Light	Moderate	Strong				
	<b>Temperature</b>	Cold	Cool	Warm	Hot				
	<b>COSHH Sheets Present</b>	Yes		No					
	<b>Warning signs in place</b>	Yes		No					

**This form is to be used on each separate site visit and herbicide treatment – it must be attached to the management plan at all times for transparency**

**Appendix C: Environmental Risk Assessment Classifications – Extreme – High – Medium – Low Risk – No Risk**

Hazard	Source	Pathway	Receptor	Risk	Abatement Measures
Hybrid Knotweed & Infested soils	Excavation of soils	Ground	Cross contamination onsite		All infested areas on infestation are to be fenced off 7 m from the nearest stems using high visibility fencing; signs will be displayed notifying all workers on site of the presence of invasive weeds. All infested soils to be contained within identified holding area. All machinery to be cleaned before moving to a different area.
Particulates	Plant & Machinery	Air	Residents - site staff		Ensure vehicles and plant in good operating condition.
Spillage's of oils & fuels	Plant & Machinery	Ground	Ground Water		Bulk Fuels to be contained within a bunded fuel tank. Vehicles to be inspected for leaks. Ensure vehicles & plant in good operation condition. Provide spillage control equipment.
Noise	Plant & Machinery	Air	Residents – site staff		Ensure vehicles and plant in good operation with silencers. Locate plant to minimise effect. Use plant at appropriate time.
Mud & Debris	Plant & Machinery	Ground	Public roadway - residents		All machinery shall be cleaned before leaving site. If required provide wheel wash facilities. If required provide road sweeper.
Dust	Plant Movement	Air	Adjoining land Residents Site staff		Spray water during dry spells. Deploy water bowser. Employ road sweeper to damp down roads.
Dated:			Signed:		

**This form is to be used on each separate site visit and herbicide treatment – it must be attached to the management plan at all times for transparency**

**Appendix D: Control of Substances Hazardous to Health Assessment**

Substance/Contaminant/Chemical : Herbicides

Activity / Element	Hazards in contact with	Who / What Risk	Initial Rating			Control Measures Specified	Residual Risk Rating				
			L	C	R		L	C	RRR		
Decanting	Eyes	Operatives				Training/ Awareness of the task, the equipment and the chemicals involved must be given to anyone about to use this system.  Attention must be drawn and information must be given and readily available for refresher reasons on the effects of this chemical;  <ul style="list-style-type: none"> <li>How to store it safely..</li> <li>How to decant it safely..</li> <li>How to use it..</li> <li>What to do in case someone has been affected by it..</li> </ul> <u>First Aid</u>  Eyes – flush immediately with water for about 15 mins. If the irritation persists seek medical advice  Skin – Remove affected clothing and wash the underlying skin with copious amounts of soap and water. If the irritation persists seek medical advice  Swallowing – Seek medical aid immediately and take the chemicals information (Material Safety Data Sheet) with you					
Spraying	Skin	Other site personnel									
Storage	Air passage ways	Members of the public									
Transport	Digestive System	Other									
Other	Other										
Notes:	Notes	Notes									
L = Likelihood		1 = Improbable, 2 = Unlikely, 3 = Likely, 4 = Very Likely, 5 = Certain									
C = Consequence		1 = Injury no lost time, 2 = Minor injury less than 3 days, 3 = Injury more than 3 lost days, 4 = Major Injury, 5 = Fatality									
R = Risk Rating		The risk rating is the value given to the Risk when the likelihood is multiplied by the Consequence									
RRR = Residual Risk		The residual risk rating is the value of the risk once all the control measures have been put into place and practise									
In the case of an environmental affect the Consequences rating should reflect the severity of that effect											
Date of Assessment:						Name of Assessor:					
Review Date:						Reviewed By:					

**This form is to be used on each separate site visit and herbicide treatment – it must be attached to the management plan at all times for transparency**

## Appendix E – Location Map



All information relevant to this management plan will be attached on an ongoing basis for the duration of soil removal works. All monitoring and results of evaluations to be fully documented and recorded with photographs and attached to this management plan.

*Kieren O' Shea*  
Certified Surveyor