



Comhairle Contae Mhaigh Eo
Mayo County Council

**PROVISION OF TOWN HOUSES
AT MOUNT STREET
CLAREMORRIS
COUNTY MAYO**

**SCREENING FOR ENVIRONMENTAL IMPACT
ASSESSMENT**

SEPTEMBER 2022

Mayo County Council,
Aras an Chontae,
The Mall,
Castlebar,
Co. Mayo
Ireland



Jennings O'Donovan & Partners Ltd.,

Consulting Engineers,
Finisklin Business Park,
Sligo.

Tel.: 071 – 9161416

Fax: 071 – 9161080

e mail: info@jodireland.com

web: www.jodireland.com



JENNINGS O'DONOVAN & PARTNERS LIMITED.

Project, Civil and Structural Consulting Engineers,
 FINISKLIN BUSINESS PARK,
 SLIGO,
 IRELAND.



Telephone (071) 91 61416
 Fax (071) 91 61080

Email info@jodireland.com
 Web Site www.jodireland.com

DOCUMENT APPROVAL

PROJECT	Provision of Town Houses at Mount Street, Claremorris, Co. Mayo	
CLIENT / JOB NO	Mayo County Council	6729
DOCUMENT TITLE	Screening for Environmental Impact Assessment	

Prepared by**Reviewed / Approved by**

Document FINAL	Name Dr. Monica Sullivan	Name Conor McCarthy
Date September 2022	Signature <i>Monica Sullivan</i>	Signature <i>Conor McCarthy</i>

This report, and information or advice which it contains, is provided by JENNINGS O'DONOVAN & PARTNERS LIMITED solely for internal use and reliance by its Client in performance of JENNINGS O'DONOVAN & PARTNERS LIMITED's duties and liabilities under its contract with the Client. Any advice, opinions, or recommendations within this report should be read and relied upon only in the context of the report as a whole. The advice and opinions in this report are based upon the information made available to JENNINGS O'DONOVAN & PARTNERS LIMITED at the date of this report and on current standards, codes, technology and construction practices as at the date of this report. Following final delivery of this report to the Client, JENNINGS O'DONOVAN & PARTNERS LIMITED will have no further obligations or duty to advise the Client on any matters, including development affecting the information or advice provided in this report. This report has been prepared by JENNINGS O'DONOVAN & PARTNERS LIMITED in their professional capacity as Consulting Engineers. The contents of the report do not, in any way, purport to include any manner of legal advice or opinion. This report is prepared in accordance with the terms and conditions of JENNINGS O'DONOVAN & PARTNERS LIMITED contract with the Client. Regard should be had to those terms and conditions when considering and/or placing any reliance on this report. Should the Client wish to release this report to a Third Party for that party's reliance, JENNINGS O'DONOVAN & PARTNERS LIMITED may, at its discretion, agree to such release provided that:

- JENNINGS O'DONOVAN & PARTNERS LIMITED written agreement is obtained prior to such release, and
- By release of the report to the Third Party, that Third Party does not acquire any rights, contractual or otherwise, whatsoever against JENNINGS O'DONOVAN & PARTNERS LIMITED and JENNINGS O'DONOVAN & PARTNERS LIMITED, accordingly, assume no duties, liabilities or obligations to that Third Party, and
- JENNINGS O'DONOVAN & PARTNERS LIMITED accepts no responsibility for any loss or damage incurred by the Client or for any conflict of JENNINGS O'DONOVAN & PARTNERS LIMITED's interests arising out of the Client's release of this report to the Third Party.

Directors: D. Kiely, C. McCarthy

Regional Director: A. Phelan

Consultants: C. Birney, R. Gillan

Senior R. Davis, S. Gilmartin, J. Healy, S. Lee,

Associates: J. McElvaney, T. McGloin, S. Molloy

Associates: B. Coyle, M. Forbes, D. Guilfoyle,
 L. McCormack, M. Sullivan

Company Reg No. 149104 **VAT Reg. No.** IE6546504D



MAYO COUNTY COUNCIL**SCREENING FOR ENVIRONMENTAL IMPACT ASSESSMENT****CONTENTS**

1.	INTRODUCTION.....	1
1.1	Purpose of this Statement.....	1
1.2	Statement of Authority.....	2
2.	THE PROPOSED DEVELOPMENT AND ENVIRONMENTAL SENSITIVITIES.....	2
2.1	The Proposed Development	2
2.2	Location.....	3
2.3	Land, Soils and Flooding.....	5
2.4	Water.....	Error! Bookmark not defined.
2.5	Biodiversity	8
2.6	Air and Climate.....	10
3.	DRAFT MAYO COUNTY DEVELOPMENT PLAN 20-21-2027	11
4.	EIA SCREENING	14
4.1	EU Directive as Amended and Associated Transposing Regulations	14
4.2	Planning and Development Regulations 2001-2019 and Considerations of the 2001-2021 (unofficial consolidation).....	14
4.3	Criteria for Determining Whether the Proposed Part 8 Housing Development at Claremorris Should be Subject to an Environmental Impact Assessment.	15
4.4	Section 28 Guidelines for Environmental Impact Assessment	17
4.5	Sub threshold development and the Proposed Part 8 proposal	18
4.6	Methodology.....	18
4.7	Part 8 Assessed Against Criteria	20
4.8	Inter relationship with above factors	33
5.	CONCLUSION	33
6.	REFERENCES.....	34

APPENDIX A: DRAWINGS

ST-1-100 Site Location Map

ST-1-101 Site Layout- Overview Plans

ST-1-102 1st Floor & Roof Plans Overview

ST-1-103 Ground Floor Plan-Front Units

ST-1-104 Ground Floor Plan- Rear Units

ST-1-105 First Floor Plan- Front Units

ST-1-106 Elevations

ST-1-107 Sections

ST-1-108 3D Views

ST-1-109 Existing Site Plan

ST-1-110 Amenities Map

6674-JOD-XX-ZZ-DR-C-200-001: Foul and Storm Site Layout Plan

6674-JOD-XX-ZZ-DR-C-600-002: Foul and Storm Sewer Sections

6674-JOD-XX-ZZ-DR-C-200-003: Watermain Site Layout Plan

6674-JOD-XX-ZZ-DR-S-700-5000: General Arrangement Foundations House Site A- RAFT

6674-JOD-XX-ZZ-DR-S-700-5000: General Arrangement Foundations House Site B- RAFT

APPENDIX B: JAPANESE KNOTWEED MANAGEMENT PLAN

APPENDIX C: BAT SURVEY REPORT

1. INTRODUCTION

Jennings O'Donovan & Partners Limited (JOD) have been commissioned by Mayo County Council to carry out an Environmental Impact Assessment Screening for the proposed provision of Town Houses at Mount Street, Claremorris, Co. Mayo, hereafter referred to as the 'Proposed Development'.

This report provides an Environmental Impact Assessment screening for a Part 8 housing development consisting of an area of land measuring 0.0793 ha located at Mount Street, Claremorris, Co. Mayo. This Part 8 process is being pursued by Mayo County Council.

The EIA Screening Report has been prepared to assess the potential impacts on the environment of the Proposed Development at the subject site. The full details of the scheme are as follows:

The proposal is for a residential development consisting of the construction of 6 no. new residential units as follows:

- Four (numbers 1, 2, 3 & 4) no. 2 bedroom apartments in a single two storey block
- Two (numbers 5 & 6) no. 1 bedroom semi-detached houses
- All associated site development works including reinstatement of footpaths, boundary treatments, public lighting, site services, drainage works and all associated infrastructure

It is proposed to direct the foul sewer from the development to the existing foul sewer network located running adjacent to the eastern boundary of the proposed site in Walsh Street. The existing network serves the Claremorris area. The proposed foul sewer will discharge under gravity to the existing foul network in Walsh Street.

It is proposed to discharge the storm water generated from the development to the existing storm sewer network also located running adjacent to the eastern boundary of the proposed site in Walsh Street. The storm water generated from the development will discharge under gravity, passing through a silt trap before entering the existing storm network.

This statement is prepared with input from Mayo County Council and Jennings O' Donovan & Partners Ltd (JOD) so that the possible effect on the environment has been examined through the process of an EIAR Screening process (detailed below) and the most appropriate form of development delivered at this site.

1.1 Purpose of this Statement

The purpose of this Environmental Impact Assessment Screening Statement is to determine whether or not an Environmental Impact Assessment Report is required for the Proposed Development and to identify any environmental issues that might arise. It is worth noting that this development is below any threshold, and we do not consider a Schedule 7A screening process will be required.

This report is supported and informed by accompanying documentation including an Appropriate Assessment Screening Report prepared by JOD and also the Priority Geotechnical Ltd (PG) Report, 2022.

1.2 Statement of Authority

This Screening for EIA Report has been prepared by a qualified and accredited expert as follows:

Dr. Monica Sullivan MCIEEM is Principal Environmental Scientist and lead ecologist with JOD. She has a Ph.D. in Environmental Sciences from Trinity College Dublin and has over 35 years' experience in the natural sciences. She has lectured since the mid 1990's – 2017 in invertebrate zoology, ecology and environmental pollution control to both masters and degree students. She has a clear understanding of the legislative framework governing the extent of environmental investigations, assessments and reports required to secure the necessary approvals on all types of projects. Dr. Sullivan has extensive experience in preparing EIA Screening and Scoping reports and works as part of multi-disciplinary professional teams providing input to Environmental Impact Assessment Reports.

2. THE PROPOSED DEVELOPMENT AND ENVIRONMENTAL SENSITIVITIES

2.1 The Proposed Development

The proposal is for a residential development consisting of the construction of 6 no. new residential units as follows:

- Four (numbers 1, 2, 3 & 4) no. 2 bedroom apartments in a single two storey block
- Two (numbers 5 & 6) no. 1 bedroom semi-detached houses
- All associated site development works including reinstatement of footpaths, boundary treatments, public lighting, site services, drainage works and all associated infrastructure

The design intent is to re-establish the existing street edge by building four dwellings facing directly onto Mount Street, plus two further townhouses to the rear of the site, thereby making efficient use of this compact site. Two ground floor apartments will be directly accessible from the public footpath; two first-floor apartments will also be directly accessible from the public footpath via a private enclosed stairway, whilst the two townhouses to the rear will be accessed from Mount Street via an arched entrance leading to a shared courtyard space. Private amenity space is located to the rear of each dwellings and bin stores are accessible from the shared courtyard space, with parking available on the public street. The existing site restrictions are as follows:

- Terrace of dwellings to directly adjoin existing structures at western and eastern boundaries

The re-instatement and extension of the street edge will strengthen the urban fabric of this important street.

Externally the units will be plastered and painted, with vertical windows & door systems, finished with dark slated roofs and balconies to rear of the upper floor apartments.

The scale, massing, architectural expression and detailing of the proposed scheme has been designed to be in harmony with the existing traditional buildings in the town centre as may be seen in Figure 2.1.



Figure 2.1 Proposed Site Plan and Streetscape, Drawing A-629-ST-1-106 Elevations Appendix A.

2.2 Location

The Proposed Development (0.0793 ha) is located on Mount Street in the town of Claremorris, Co. Mayo. The Proposed Housing Development lies within the town of Claremorris and is adjacent to Mount Street R320. The site is a vacant plot on a stretch of town-center street frontage; the northern edge is bounded by a 2-storey town-center dwelling, the southern edge is bounded by a 3-storey dwelling-over-shop. The western edge is bounded the yard of a large garden center retail outlet, and the eastern edge is the site frontage onto Mount Street.

The Claremorris railway line lies behind the Proposed Housing Development. The site is bordered by domestic dwellings to the north and south (Figure 2.2). The wider surrounding landscape is comprised of Claremorris town and its amenities, domestic and commercial dwellings and improved agricultural grasslands.

The site slopes from c.65.0m at its southern end to c.64.8m at its north-eastern end (Drawing SL01; Existing Site Plan, Appendix A). The scheme consists of 6 units in total. Units 1, 4, 5 and 6 are along the road facing Mount Street arranged parallel to the public roadway at the eastern end of the site. Units 2 and 3 will be located in behind units 1, 4, 5 and 6 off Mount Street. Access to these units will be available via an arched entrance off Mount Street between Unit 5 and 6. The arched entrance opens up into a shared courtyard; Units 2 and 3 will be located behind the courtyard.



Figure 2.2 Approximate location of the Proposed Development Site

Claremorris is located at the junction of the N17 and the N60 in local electoral area 6 which has a population of approx. 3,984 according to the 2021 population statistics. Knock settlement is located approx. 9.5km northeast of the site has 972 persons (also 2021 statistics). The site is within the Claremorris electoral division with a population of 3,687 persons in 2016; 66.8% of the employed population worked in services with approx. 8.5% working in the agricultural, forestry and fishing industry and 20.5% in industry and construction. The population increased by 275 between 2011 and 2016.

The Claremorris Urban Area has traditionally served as a market town and service centre for a large hinterland incorporating south and west County Mayo and the north of County Galway. The town is served by many Bus Éireann routes and has a railway station on the Dublin-Westport line, thus ensuring good public transport connectivity. Ireland West Airport (Knock) is located 30km from the town. The town is situated within the Border, Midland and Western Region of the country and is located along the

Sligo-Galway 'strategic linking corridor' under the National Spatial Strategy published in 2002. The town is very well served with both primary and secondary schools, local service and shopping, cultural, sporting and leisure amenities.

The main activity in the area is the amenities the town provides including services, entertainment and housing. The local environment aids in providing services for the town and surrounding villages. The Claremorris area extends over approximately 5,662 acres of which most of the acreage are amenities and housing for local people.

The local landscape is predominantly urban dwellings and amenities (**Figure 2.3**) with agricultural lands featuring in the wider landscape. Land ownership is generally delineated by treelines, hedgerows and stone walls. Mayfield Lough and Clare Lough are also a feature of the local landscape due west. National and local roads are a feature also separating lands and associated residences.

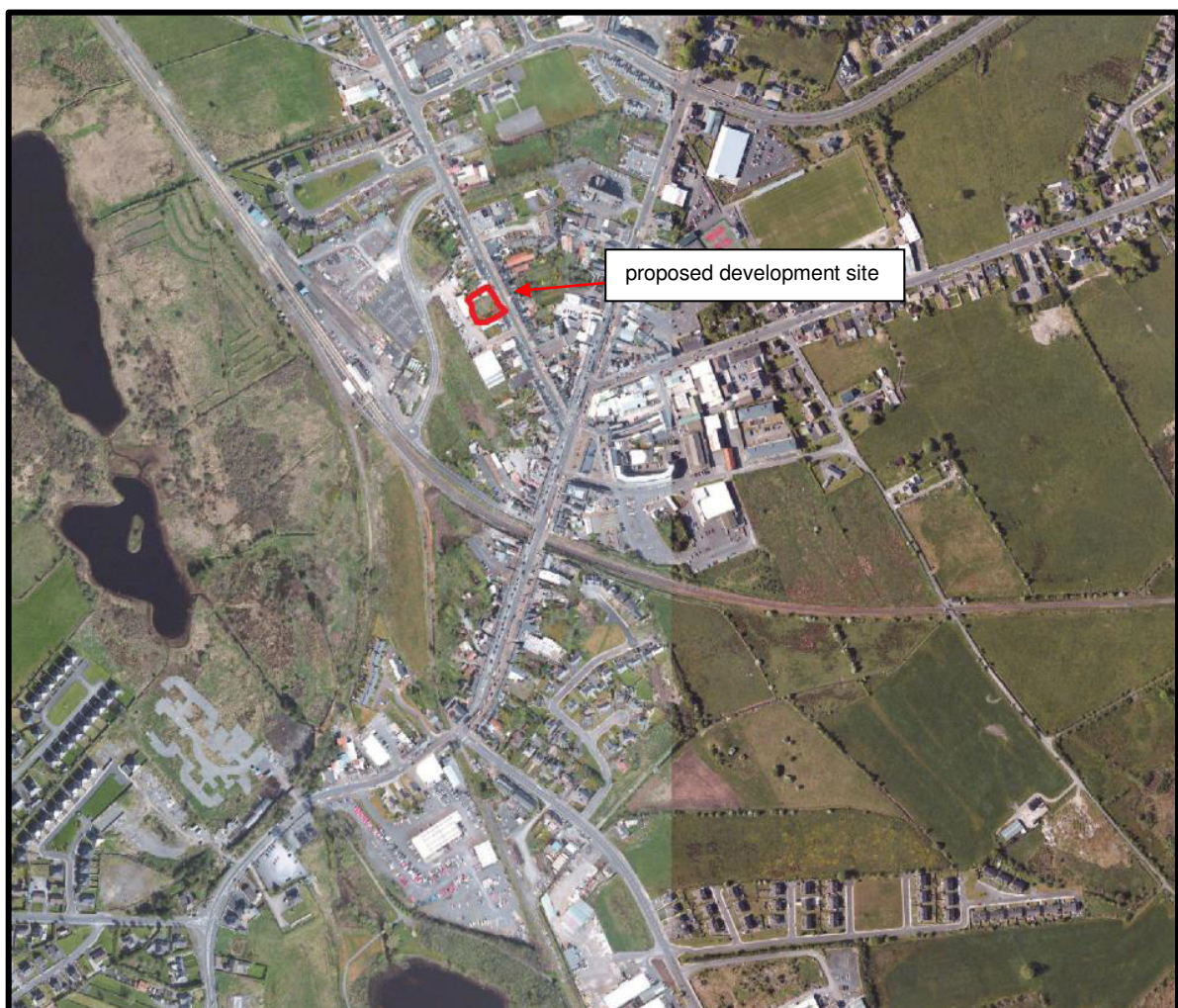


Figure 2.3 Agricultural landscape and dwellings in the wider vicinity of the Proposed Development.

2.3 Land, Soils and Flooding

The Proposed Development is located in an immediate urban landscape. The main bedrock is Ballymore Limestone Formation with dark, fine-grained limestone and shale. Priority Geotechnical Ltd (PG) carried

out a survey in May 2022 and noted that the sequence of strata encountered were consistent across the site and are generally comprised of slightly sandy, slightly gravelly Clay, sandy gravelly Silt and stiff Silt.

There is no risk from groundwater flooding according to the Office of Public Works (OPW) website, myplan.ie website or the CFRAM study accessed (May, 2022). OPW groundwater flood mapping confirmed that the site is not at risk from groundwater flooding (Figure 2.2). In addition, there is no risk of tidal or pluvial flooding.

Groundwater was not encountered during percussion boring and trial pit excavation through soil as water strikes. It should be noted that the casing used in supporting the borehole walls during drilling may have sealed out any additional groundwater strikes and the possibility of encountering groundwater at other depths during excavation works should not be ruled out. It should also be noted that any groundwater strikes within bedrock may have been masked by the fluid used as the drilling flush medium. Seasonal variation in groundwater levels should also be factored into design considerations and continued monitoring of the two installed standpipes will give an indication of the seasonal variation.

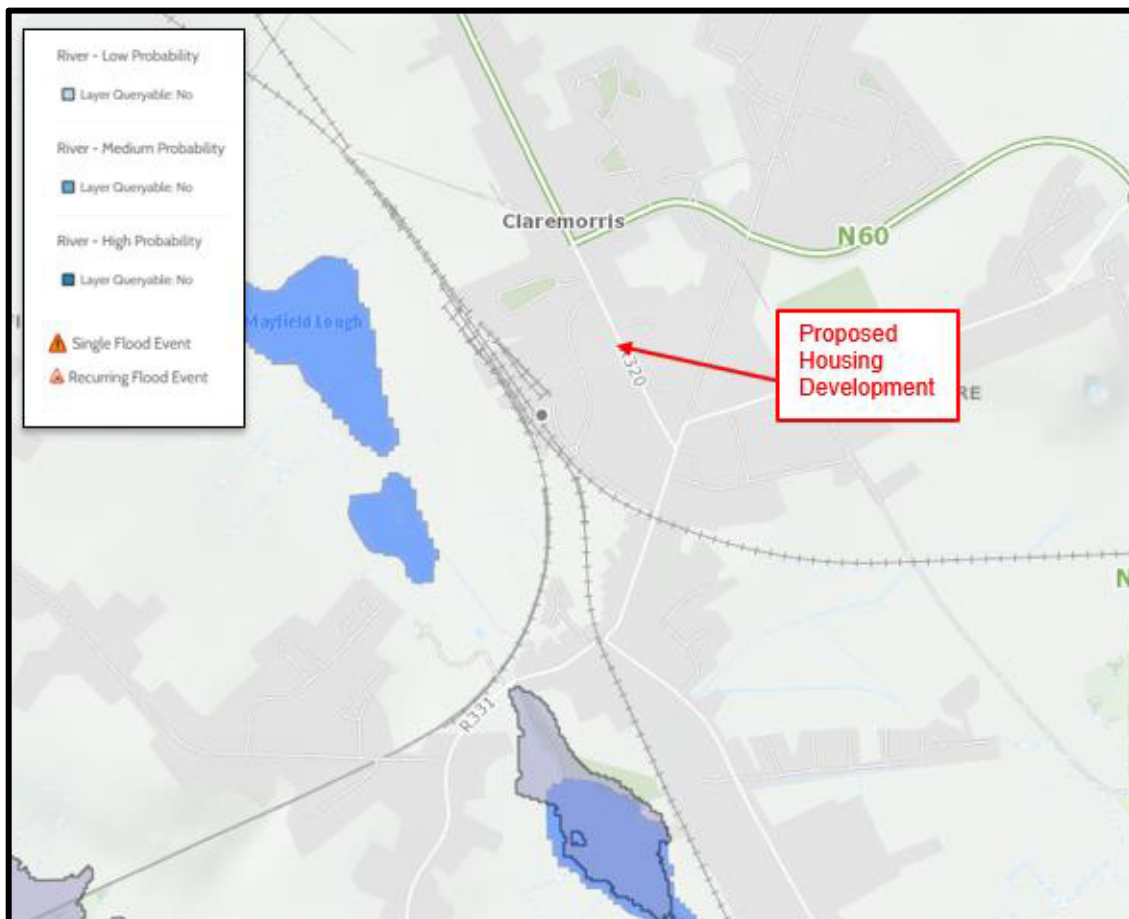


Figure 2.4 Flood Map for the Proposed Site (Source: FloodInfo.ie, 2022)

The site slopes from c.64m at its north-eastern end to c.65.2m at its southern end (Drawing 109; Existing Site Plan, Appendix A). The scheme consists of 6 units in total. The first four units are in a single two storey block facing directly onto Mount Street, plus two further townhouses to the rear of the site, thereby

making efficient use of this compact site. Two ground floor apartments will be directly accessible from the public footpath; two first-floor apartments will also be directly accessible from the public footpath via a private enclosed stairway, whilst the two townhouses to the rear will be accessed from Mount Street via an arched entrance leading to a shared courtyard space. Private amenity space is located to the rear of each dwelling and bin stores are accessible from the shared courtyard space, with parking available on the public street.

The proposed use of natural resource of land will not be significantly different to the existing situation. A small housing development with associated backyards and infrastructure will be developed. The main habitat of this land has been assessed as 'urban' of low ecological significance.

The construction or operation of the proposed development (with no basements proposed) would not use such a quantity of soils or water to result in significant adverse effects on the local urban environment.

Subsoils on site are made up mainly from gravelly silt/clay. All proper engineering infrastructure will be developed to prevent any discharge to soils.

2.4 Groundwater, Stormwater and Foul Drainage

The site is in an area of a regionally important aquifer that is noted as being highly vulnerable. The associated ground waterbody (GWB) is the Robe_SC_010 which covers an area of approx. 174.24km². The Water Framework Directive (WFD) latest status for the Cong-Robe GWB (2013-2018) is 'Good', indicating no change from the previous 2007-2012 and 2010-2015 records held. Status for near surface and sub surface nitrate susceptibility (IE_WE_30A340980) at the Site is 3 respectively, while the status for near surface phosphate susceptibility (IE_WE_30A340980) at the Site is 2. There are no drinking water rivers or lakes in the local area and the Site is also not within a GSI public or group water scheme source protection area.

The nature of the Proposed Development will generate a demand for water, but this is for residential use and is not considered significant. Adherence to best practice Construction and Environmental Management during the construction phase will ensure that development would not result in pollution of groundwater or any surface water.

Management of surface water for the Proposed Development has been designed to comply with the policies and guidelines outlined in the *Greater Dublin Strategic Drainage Study (GDSDS)* and with the requirements of Mayo City Council.

Storm drainage for the entire development will be designed in accordance with the *Recommendations for Site Development Works for Housing Areas* and also the recommendations of the GDSDS. The details of the pipe designs are outlined in drawing 6674-JOD-XX-ZZ-DR-C-200-001, **Appendix A** of this report. The storm water drainage design has been designed to cater for surface water from hard surfaces in the proposed development including roadways, footpaths, and the proposed buildings.

It is also noted that all wastewater infrastructure will be discharged to an existing public sewer adjacent to the site and will be designed and constructed in accordance with the following:

- Irish Water Code of practice for wastewater infrastructure, connections and developer services, design and construction requirements for self-lay developments July 2020 (revision 2), IW-CDS-5030-03
- Irish Water Wastewater infrastructure standard details, connections and developer services, construction requirements for self-lay developments; July 2020 (revision 04), IW-CDS-5030-01

In line with Codes of Practices as outlined above, it is considered that the development provides treatment of collected run-off, provides a SUDS treatment train approach and is low risk of pollutants. The proposed surface water system has therefore been designed to incorporate SuDS techniques which naturally reduce pollutants and improve water quality. Further detailed information is provided in the Proposed Site Services Drawings in Appendix A of this report.

2.5 Biodiversity

Biodiversity is not likely to be significantly affected by the Proposed Development. The subject site is of limited ecological significance.

Four habitats (according to Fossitt, 2000) were noted with the survey area, namely ED3: Recolonising bare ground, WS1: Scrub, BL1: Stone walls and BL3: Artificial Surfaces. No Annex I habitat occurs within the area of proposed works.

No rare, threatened, or protected species of plants as per the Red Data Book (Curtis and McGough, 1988) were found. No species listed in the Flora Protection Order (2022) were found to be growing within the proposed site of works.

Fallopia japonica (Japanese knotweed) an invasive alien species listed on the Third Schedule of the European Communities (Birds and Natural Habitats) Regulations, 2011 (S.I. No. 477 of 2011) Part 1 is present over approximately 530m² of the site. A Management Plan for this species has been developed (Appendix B).

ED3: Recolonising Bare Ground

This is the predominant habitat onsite as the majority of the ground onsite has been disturbed and has subsequently been invaded by herbaceous plants. Vegetation cover across this habitat is over 80%. The underlying ground is comprised primarily of soil, gravel, stone and fines.

Horsetail (*Equisetum* sp.) is a conspicuous plant growing over much of the site to an average height of approximately 35cms. Interspersed plants include Japanese knotweed (*Fallopia japonica*), red clover (*Trifolium pratense*), dandelion (*Taraxacum* spp.), ragwort (*Jacobea vulgaris*), sow thistles (*Sonchus* spp.), spear thistle (*Cirsium vulgare*), broad-leaved and narrow-leaved plantain (*Plantago major* and *P.*

lanceolata), creeping and bulbous buttercup (*Ranunculus repens* and *R. acris*) common figwort (*Scrophularia nodosa*), cow parsley (*Anthriscus sylvestris*), nettle (*Urtica dioica*) and bush vetch (*Vicia sepium*) amongst others.

Grasses are not dominant in this habitat and are largely represented by cock's foot (*Dactylis glomerata*) and Yorkshire fog (*Holcus lanatus*). Individual stands of willowherb (*Epilobium* spp.) are present. Pineapple weed (*Matricaria discoidea*), daisy (*Bellis perennis*), bittercress (*Cardamine* spp.) and coltsfoot (*Tussilago farfara*) also comprise some of the herbaceous component of this habitat where vegetation is less dense.

Creepers in this ED3 habitat include bramble (*Rubus fruticosus* agg.), bindweed (*Calystegia sepium*) and ivy (*Hedera hibernica*). Herb Robert (*Geranium robertianum*) is also spreading over some areas, particularly in stoney/rocky areas. Common spotted orchids (*Dactylorhiza fuchsia*) are dispersed throughout the site, but are few in number.

WS1: Scrub

Four small areas (maximum 8m wide by 4.5 m long) that can be classified as scrub exist onsite. These areas largely support young trees such as sycamore (*Acer pseudoplatanus*) and willow (*Salix* spp.); maximum height 7m, with a representation of young hawthorn (*Crataegus monogyna*, <1m tall) in a marginal scrub area near the east end. Understorey shrubs in these areas include fuchsia spp. and common snowberry (*Symphoricarpos albus*), both of which are non-native species. Montbretia (*Crocasmia* sp.), another non-native is also onsite. The Montbretia and clustered cabbage plants (*Brassica* sp.) reflect historic gardening practices.

Some of the scrub areas are impenetrable as bramble is utilising the established trees and other woody vegetation to spread. The common cleaver (*Galium aparine*) is present within this habitat with ground ivy also a large contributor to ground cover. Japanese knotweed also exists within these habitats. Fallen tree branches and old railway sleepers in this WS1 habitat are potentially providing cavities for invertebrates. Two bat species were noted foraging over the scrub habitat onsite.

Stone walls (BL1) and Building and Artificial Surfaces (BL3)

Walls are a feature on both the north and south end of the site. The walls represent the end walls of adjacent buildings. The south end walls are plastered and only support overhanging vegetation (ivy) at the central and southwest end of the site; there are no other opportunities for vegetation to gain a foothold and therefore these walls are devoid of other plant life. These walls do not feature as a BL1 stone wall habitat, instead, they can be classified as an artificial surface habitat, BL3.

Some of the walls at the north end can be categorised as stone wall features (BL1) as they are comprised of old dry stone and mortar walls.

The walls are generally in good condition and are either capped with cement or covered by an overhanging galvanized roof.

Ivy dominates the vegetative cover, creeping upward from the ground onsite. Whilst the structure of the mortar and stone walls have reduced opportunities for open niches and the establishment of plants, vegetation has managed to gain a foothold, including ivy-leaved toadflax (*Cymbalaria muralis*). A limited representation of the more primitive ferns, such as the intermediate polypody (*Polypodium interjectum*), Hart's-tongue (*Asplenium scolopendrium*), rustyback fern (*Asplenium ceterach*), and maidenhair spleenwort (*Asplenium trichomanes*) also are present where opportunities are favourable. In the damper and shaded areas of the walls, mosses and other plants cover the stones creating tilth and compost for other plants to gain a substantial foothold and develop. Clusters of the native wall-rue (*Asplenium ruta-muraria*), a short-stemmed fern known from old stone walls are utilising this niche to become established. Exposed areas of the wall also support a variety of lichens. Bramble (*Rubus fruticosus* agg.) is also utilising the wall to spread. Japanese knotweed is rooted close to northern stone and mortar wall and is being sheltered by the vertical walls.

2.6 Air and Climate

The EPA designate the area as Air Zone D: Rural Ireland for Air and Climatic factors.

Co. Mayo has three air quality monitoring stations located at Ballina (54.1147°N, -9.1526°E), Castlebar (53.8510°N, -9.3003°E) and Claremorris (53.6866°N, -9.0134°E). Particulate matter is measured at Ballina and Claremorris with ozone and nitrogen oxides also included for Castlebar. The latter monitors are located in the grounds of the EPA offices on the outskirts of Castlebar.

In relation to the Proposed Development, Ballina is located approx. 45km north, Castlebar approx. 24km northwest and the site is located within Claremorris town.

The EPA Air Quality site was accessed on September 30th 2022 and the following ratings noted:

1. Ballina is currently offline, the last recording had an Air Quality Index for Health (AQIH) of 2 (last uploaded recording at 09.02am, March 7th, 2022) (station currently offline) with latest PM₂₅ average of 14.52 µg/m³ and PM₁₀ of 15.83 µg/m³.
2. Castlebar has a current AQIH of 3 ((last uploaded recording at 13.00pm, September 30th 2022) with latest PM₁₀ of 6 µg/m³, NO₂ average of 3.51 µg/m³ and O₃ average of 59.99 µg/m³.
3. Claremorris has a current AQIH current of 1 ((last uploaded recording at 12.00am, September 30th 2022) with latest PM₂₅ average of 2.26 µg/m³ and PM₁₀ of 4.49 µg/m³.

Since all of the indices are 3 or less, this indicates 'Good' air quality. These AQIH relate to small towns, which are generally higher than rural areas.

There is no significant impact on air pollution expected from the Proposed Development outside of potential temporary dust impact. Air and Climate are not likely to be significantly affected by the Proposed Development.

3. DRAFT MAYO COUNTY DEVELOPMENT PLAN 20-21-2027

The draft Mayo County Development Plan 2021-2027 has been consulted alongside Mayo County Development Plan 2014-2020.

Claremorris is identified as a town, Tier 2 in the Municipal District of Castlebar which has a social housing waiting list of 494.

The draft Plan 2021-2027 outlines Housing Strategy Objectives that include:

<i>Housing Strategy Objectives</i>	
HSO 3	To increase the stock of social housing within the county in order to meet the social housing needs identified in this Housing Strategy as well as the long-term housing needs of existing households on the local authority housing waiting list.

In the same report, the Town and Village Housing Policies and Town and Village Housing Objectives include the following:

<i>Town and Village Housing Policies</i>	
TVHP 1	To support the development of quality residential schemes having regard to and being consistent with the standards and principles set out in the Sustainable Residential Development in Urban Areas Guidelines for Planning Authorities (2009) and any relevant specific planning policy requirements (SPPRs) in the 'Urban Development and Building Heights Guidelines for Planning Authorities' (2018) and the 'Sustainable Urban Housing: Design Standards for New Apartments, Guidelines for Planning Authorities' (2018) (and as updated).
TVHP 2	To support the creation of attractive residential developments with a range of housing options and appropriate provision of functional public and private open space that is consistent with the standards and principles set out in the Guidelines for Planning Authorities on Sustainable Residential Development in Urban Areas and the associated Urban Design Manual – A Best Practice Guide, DEHLG (2009) and any subsequent guidelines.
TVHP 3	To encourage and foster the creation of attractive, mixed use, sustainable communities that include a suitable mix of housing types and tenure with supporting facilities, amenities and services that meet the needs of the community and are in accordance with the principles of universal design, life-long adaptability, energy efficiency and urban greening, in as far as practicable.

TVHP 4	To encourage the reuse of upper floors above commercial premises for residential accommodation.
TVHP 5	To promote higher residential densities in appropriate locations and in particular close to town centres and along public transport corridors, in accordance with the Guidelines for Planning Authorities on Sustainable Residential Development in Urban Areas, DEHLG (2009).
TVHP 6	To promote innovation in architectural design that delivers buildings of a high quality that positively contribute to the built environment and local streetscape.
TVHP 7	To promote the development of vacant residential and regeneration sites in all development centres in the county, as appropriate, in accordance with the requirements of the Urban Regeneration and Housing Act 2015 (as amended).
TVHP 8	To direct multiple residential developments to those settlements identified in the Core Strategy and to require that the scale of such development is in accordance with growth projected within that specific settlement, except where there is otherwise a demonstrable need.

Town and Village Housing Objectives

TVHO 1	To ensure that a suitable variety and mix of dwelling types and sizes is provided in developments to meet different needs, having regard to demographic and social changes, whilst all times acknowledging and reflecting the existing character of the area.
TVHO 2	To require residential development to demonstrate that a housing density appropriate to its context is achieved, providing for a sustainable pattern of development, whilst ensuring a high-quality living environment.
TVHO 3	To ensure all apartments are designed having regard to the standards principles and any specific planning policy requirements (SPPRs) outlined in the Design Standards for New Apartments - Guidelines for Planning Authorities (March 2018) (or as updated).
TVHO 4	To ensure the provision of childcare facilities as an integral part of proposals for new residential developments, having regard to the DEHLG's Childcare Facilities Guidelines for Planning Authorities, 2001 (as may be updated) in relation to the provision of childcare facilities, where appropriate.
TVHO 5	To achieve minimum appropriate densities and provide an adequate mix of building heights and typologies appropriate to the urban context

	having regard to the Sustainable Residential Development in Urban Areas Guidelines for Planning Authorities (2009); Urban Development and Building Heights Guidelines for Planning Authorities' (2018) and the 'Sustainable Urban Housing: Design Standards for New Apartments, Guidelines for Planning Authorities' (2018) (or as updated), including any relevant specific planning policy requirements (SPPRs), where appropriate.
TVHO 6	To require that applications for residential development take an integrated and balanced approach to movement, place making, and streetscape design in accordance with the requirements of the Design Manual for Urban Roads and Streets, DTTS and DECLG (2013 as amended).
TVHO 7	To ensure the provision of adequate areas of high quality, safe and overlooked open space within residential developments and support the provision of play and recreational areas, including pollinator-friendly management of public open space, in all new large residential developments.
TVHP 8	To require that development proposals for new residential developments in settlements demonstrate a high-quality design process including layout, specification and external finishes.
TVHO 9	To guide multiple residential development in a sequential manner outward from the core area of settlements, to maximise the utility of existing and future infrastructure provision, to promote sustainability, to make more efficient use of underutilised lands, and to avoid the extension of services and utilities to more remote areas.
TVHO 10	To prepare design guidelines for new residential developments in towns and villages during the lifetime of the plan. In the interim, the design guidance and principles set out in the Village Design Statements for Louisburgh, Mulranny and Belcarra and the Sustainable Residential Development in Urban Areas and accompanying Urban Design Manual (DoEHLG) 2009 (or as updated) shall apply, where appropriate.
TVHO 11	Buildings which are ancillary to existing town or village dwelling(s), such as self-isolation units/granny flats/independent living unit or remote working office unit will be considered on their individual merits, subject to compliance with the criteria outlined in Section 4.15 of Volume 2 (Development Management Standards) of the Plan.

4. EIA SCREENING

4.1 EU Directive as Amended and Associated Transposing Regulations

The primary objective of the EIA Directives is to ensure that projects which are likely to have significant effects on the environment are subject to an assessment of their likely effects.

Directive 2014/52/EU amending Directive 2011/92/EU on the assessment of the effects of certain public and private projects on the environment came into effect on May 16th, 2017.

The European Union (Planning and Development) (Environmental Impact Assessment) Regulations 2018 (S.I. No. 296 of 2018) transpose the requirements of Directive 2014/52/EU, amending previous Directive 2011/92/EU, on the assessment of the effects of certain public and private projects on the environment (the EIA Directive) into planning law with effect from 1st September 2018. The regulations amend the Planning and Development Regulations 2001.

Directive 2014/52/EU does not make any amendments to the list of projects set out in the two annexes to the 2011 Directive. In the Irish legislation, Annexes I and II are broadly transposed by way of the Planning and Development Regulations 2001, as amended, in Schedule 5 Parts 1 and 2, with national thresholds added to certain Part 2 classes of development.

Schedule 5 Part 1 projects require EIA if the stated threshold set therein has been met or exceeded or where no thresholds are set.

Schedule 5 Part 2 projects meeting or exceeding national thresholds set out therein, or where no thresholds are set, require EIA.

Schedule 5 Part 2 Sub-threshold projects require screening for EIA, except in cases where the likelihood of significant effects can be readily excluded.

The new Annex II A, is transposed into the Planning and Development Regulations 2001 as amended by the insertion of schedule 7A – *“information to be provided by the applicant or developer for the purposes of screening sub-threshold development for environmental impact assessment.”*

Art 92 of the Planning and Development Regulations 2001 as amended provides that;

“sub-threshold development” means development of a type set out in Part 2 of Schedule 5 which does not equal or exceed, as the case may be, a quantity, area or other limit specified in that Schedule in respect of the relevant class of development”.

4.2 Planning and Development Regulations 2001-2019 and Considerations of the 2001-2021 (unofficial consolidation)

The first stage of EIA screening is provided in Article 120 of the Planning and Development Regulations 2001 as amended (S.I. No. 296/2018 - European Union (Planning and Development) (Environmental Impact Assessment) Regulations 2018).

Art 120 (1) (a) provides that; “*where the authority proposes to carry out a subthreshold development, the authority shall carry out a preliminary examination of, at the least, the nature, size or location of the development*”

Art 120 (1) (b) provides that after the preliminary examination is carried out, and where the local authority concludes, based on such preliminary examination, that—

- “(i) there is no real likelihood of significant effects on the environment arising from the proposed development, it shall conclude that an EIA is not required,
- (ii) there is significant and realistic doubt in regard to the likelihood of significant effects on the environment arising from the proposed development, it shall prepare, or cause to be prepared, the information specified in Schedule 7A for the purposes of a screening determination, or
- (iii) there is a real likelihood of significant effects on the environment arising from the proposed development, it shall—
 - (I) conclude that the development would be likely to have such effects, and
 - (II) prepare, or cause to be prepared, an EIAR in respect of the development.”

Accordingly, Schedule 7A is triggered if there is significant and realistic doubt in regard to the likelihood of significant effects on the environment. Subsection (1b) in summary provides where the local authority prepares, or causes to be prepared, the information specified in Schedule 7A, then the information shall be accompanied by any further relevant information and may be accompanied by a description of the features, if any, of the proposed development and the measures, if any, envisaged to avoid or prevent what might otherwise have been significant adverse effects on the environment of the development.

The Regulations provide that where any person considers that a development proposed to be carried out by a local authority would be likely to have significant effects on the environment, he or she may, at any time before the expiration of 4 weeks beginning on the date of publication of the notice apply to the Board for a screening determination as to whether the development would be likely to have such effects.

4.3 Criteria for Determining Whether the Proposed Part 8 Housing Development at Claremorris Should be Subject to an Environmental Impact Assessment.

Schedule 7 provides the following criteria for assessment:

1. Characteristics of the Proposed Development

The characteristics of proposed development, in particular:

- (a) the size and design of the whole of the proposed development,
- (b) cumulation with other existing development and/or development the subject of a consent for proposed development for the purposes of section 172(1A)(b) of the Act

and/or development the subject of any development consent for the purposes of the Environmental Impact Assessment Directive by or under any other enactment,

- (c) the nature of any associated demolition works,
- (d) the use of natural resources, in particular land, soil, water and biodiversity,
- (e) the production of waste,
- (f) pollution and nuisances, EIA Screening Report 6
- (g) the risk of major accidents, and/or disasters which are relevant to the project concerned, including those caused by climate change, in accordance with scientific knowledge, and
- (h) the risks to human health (for example, due to water contamination or air pollution).

2. Location of the Proposed Development

The environmental sensitivity of geographical areas likely to be affected by the proposed development, with particular regard to:

- (a) the existing and approved land use,
- (b) the relative abundance, availability, quality and regenerative capacity of natural resources (including soil, land, water and biodiversity) in the area and its underground,
- (c) the absorption capacity of the natural environment, paying particular attention to the following areas:
 - (i) wetlands, riparian areas, river mouths;
 - (ii) coastal zones and the marine environment;
 - (iii) mountain and forest areas;
 - (iv) nature reserves and parks;
 - (v) areas classified or protected under legislation, including Natura 2000 areas designated pursuant to the Habitats Directive and the Birds Directive and;
 - (vi) areas in which there has already been a failure to meet the environmental quality standards laid down in legislation of the European Union and relevant to the project, or in which it is considered that there is such a failure;
 - (vii) densely populated areas;
 - (viii) landscapes and sites of historical, cultural or archaeological significance.

3. Types and characteristics of potential impacts:

The likely significant effects on the environment of proposed development in relation to criteria set out under paragraphs 1 and 2, with regard to the impact of the project on the factors specified in paragraph (b)(i)(I) to (V) of the definition of 'environmental impact assessment report' in section 171A of the Act, taking into account:

- (a) the magnitude and spatial extent of the impact (for example, geographical area and size of the population likely to be affected),
- (b) the nature of the impact,
- (c) the transboundary nature of the impact,
- (d) the intensity and complexity of the impact,
- (e) the probability of the impact,
- (f) the expected onset, duration, frequency and reversibility of the impact,
- (g) the cumulation of the impact with the impact of other existing and/or development, the subject of a consent for proposed development for the purposes of section 172(1A)(b) of the Act and/or development the subject of any development consent for the purposes of the Environmental Impact Assessment Directive by or under any other enactment, and
- (h) the possibility of effectively reducing the impact.

4.4 Section 28 Guidelines for Environmental Impact Assessment

The revised Guidelines for Planning Authorities and An Bord Pleanála on carrying out Environmental Impact Assessment August 2018 were issued under section 28 of the Planning and Development Act 2000, as amended, replacing the 2013 Guidelines, and accordingly planning authorities and An Bord Pleanála are required to have regard to them in the performance of their planning functions.

The Guidelines provides a glossary as follows:

Screening

The process of determining if development of a class prescribed in Part 2 of Schedule 5 to the 2001 Regulations that does not equal or exceed a threshold specified in that Schedule in respect of that class is likely to have significant effects on the environment and should be made the subject of EIA.

Source-Pathway-Target Model

A model identifying the source of likely significant impacts, if any, the environmental factors which will potentially be affected and the route along which those impacts may be transferred from the source to the receiving environmental factors.

2001 Regulations

The Planning and Development Regulations 2001–2018 (as amended by the Transposing Regulations, S.I. No. 296 of 2018).

The Guidelines provide that for all sub-threshold developments listed in Schedule 5 Part 2, where no EIAR is submitted or EIA determination requested, a screening determination is required to be undertaken by the competent authority unless, on preliminary examination it can be concluded that there is no real likelihood of significant effects on the environment. This is initiated by the competent authority following the receipt of a planning application or appeal. The examination should have regard to the criteria set out in Schedule 7 to the 2001 Regulations. A preliminary examination is undertaken, based on professional expertise and experience, and having regard to the 'Source – Pathway – Target' model as defined above.

4.5 Sub threshold development and the Proposed Part 8 proposal

Sub-threshold projects in Schedule 5, Part 2 require screening for EIA, except in cases where the likelihood of significant effects can be readily excluded.

Schedule 5 Part 2 outlines Annex II discretionary thresholds determined by Ireland (each EU Member State) which if met or exceeded require a mandatory EIA. It includes Infrastructure projects:

- (a) Industrial estate development projects where area would exceed 15 ha.
- (b) (i) Construction of more than 500 dwelling units.
- (ii) Construction of a car-park providing more than 400 spaces, other than a car-park provided as part of, and incidental to the primary purpose of, a development.
- (iv) Urban development which would involve an area greater than 2 hectares in the case of a business district, 10 hectares in the case of other parts of a built-up area and 20 hectares elsewhere.

Having regard to the above thresholds, this application for 6 dwelling Units on a site of 0.0793 ha (with below threshold parking (on street parking) incidental to the development) may be described as a sub threshold development.

4.6 Methodology

The following screening has had regard to the following:

-
- Planning and Development Act 2000 as amended
 - Planning and Development Regulations 2018 (as amended)
 - Planning and Development (Housing) and Residential Tenancies Act 2016 (as amended)
 - Directive 2011/92/EU
 - Directive 2015/52/EU
 - Directive 2014/52/EU of 16 April 2014 amending Directive 2011/92/EU
 - Transposition of 2014 EIA Directive (2014/52/EU) in the Land Use Planning and EPA Licensing
 - Directive 2015/52/EU
 - Systems – Key Issues Consultation Paper (2017; DoHPCLG)
 - Preparation of guidance documents for the implementation of EIA directive (Directive 2011/92/EU as amended by 2014/52/EU) – Annex I to the Final Report (COWI, Millieu; April 2017)
 - The European Union (Planning and Development) (Environmental Impact Assessment) Regulations 2018 (S.I. No. 296 of 2018)
 - Draft Guidelines on the information to be contained in Environmental Impact Assessment Reports, Environmental Protection Agency, 2017
 - Environmental Impact Assessment of Projects: Guidance on Screening, European Commission, 2017
 - Guidelines for Planning Authorities and An Bord Pleanála on carrying out Environmental Impact Assessment August 2018, DoHPLG.
 - Environmental Impact Assessment (EIA) Guidance for Consent Authorities regarding Subthreshold Development 2003, DoHPLG.
 - Interpretation of definitions of project categories of Annex I and II of the EIA Directive (EU, 2015)
 - Circular Letter: PL 05/2018 27th August 2018 Transposition into Planning Law of Directive 2014/52/EU amending Directive 2011/92/EU on the effects of certain public and private projects on the environment (the EIA Directive) and Revised Guidelines for Planning Authorities and An Bord Pleanála on carrying out Environmental Impact Assessment.

- Circular Letter: PL 10/2018 22 November 2018 Public notification of timeframe for application to An Bord Pleanála for screening determination in respect of local authority or State authority development.

4.7 Part 8 Assessed Against Criteria

The 'Environmental Impact Assessment (EIA) Guidance for Consent Authorities Regarding Sub-Threshold Development' groups criteria for deciding whether or not a proposed development would be likely to have significant effects on the environment under three main headings (with sub-headings) which correspond to the updated Schedule 7 are outlined in Section 4.3 above. The Proposed Development will be assessed under these headings hereunder, namely Section 4.7.1, 4.7.2 and 4.7.3.

4.7.1 Characteristics of the Proposed Development

The characteristics of proposed development, in particular:

- (a) the size and design of the whole of the proposed development,

The proposed development is for 6 residential units, associated landscaping including on street parking spaces (Figure 4.1). The houses are a mix of 'two storey apartments' and one storey apartments and are limited to an approximate height of approx. 6.5M.

Scale, massing, architectural expression and detailing are designed to be in keeping with the traditional houses of the area. Pedestrian footpaths sloped as "gently sloping paths" in compliance with TGD M to allow universal pedestrian access between all units/ site entrance and on-street parking.

The size of the proposed development is small in terms of housing schemes. Having regard to the modest size and design of the proposal, it is considered that it would be unlikely to have significant effects on the environment.

- (b) cumulation with other existing development and/or development the subject of a consent for proposed development for the purposes of section 172(1A)(b) of the Act and/or development the subject of any development consent for the purposes of the Environmental Impact Assessment Directive by or under any other enactment.

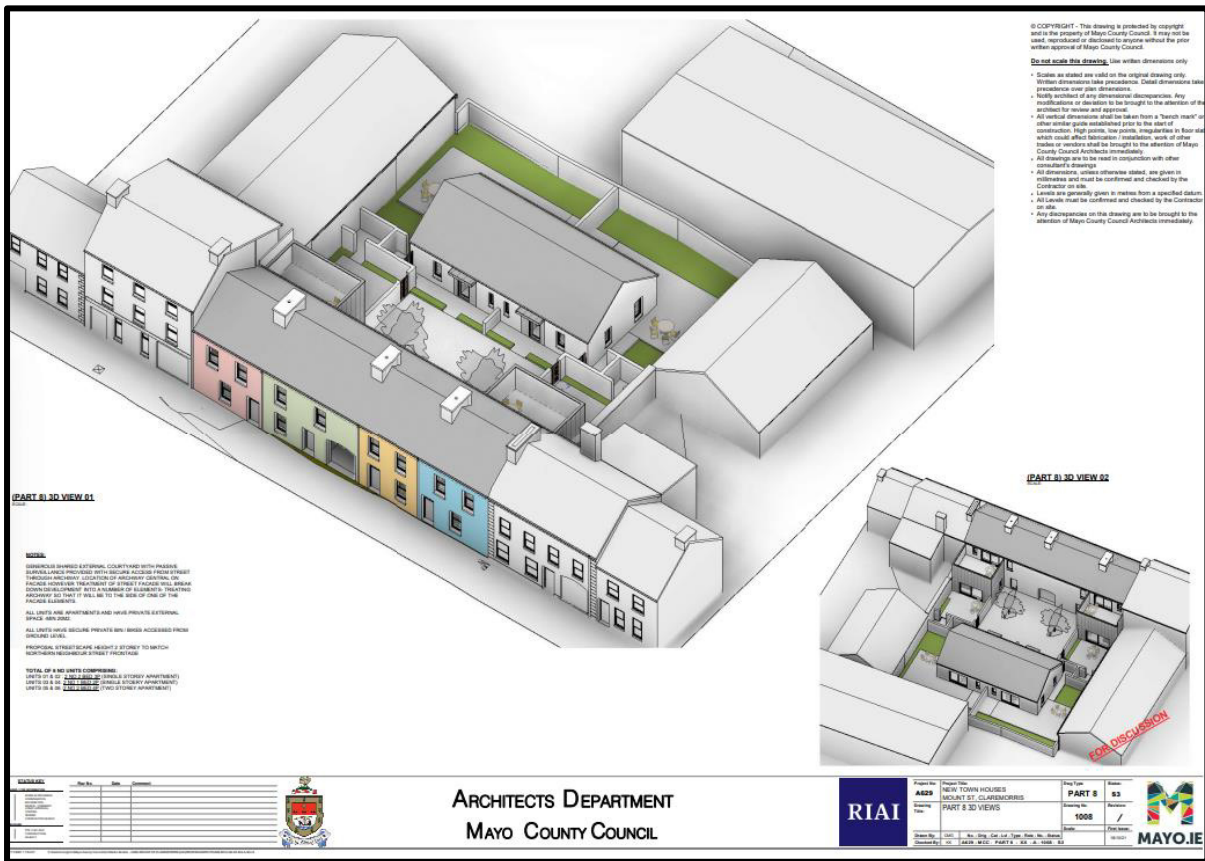


Figure 4.1 Drawing ST-1-108 3D Views provided in Appendix A

4.7.1.1 Application site

There is no recent planning history on the application site.

4.7.1.2 Wider area

The accompanying Appropriate Assessment Screening considered that while the effects on European Sites were not expected as a result of the construction and operation of the Proposed Development, the potential for cumulative effects on these designated sites due to other plans and projects acting in-combination with the Development were considered. Mayo County Council on-line planning application portal was used to search planning applications close to the Proposed Development. A five-year search timeframe was assessed. Retention, refused and withdrawn planning applications were excluded. In the wider area (within 1000m), there are a number of permissions for domestic extensions and small-scale commercial developments. From an examination of the Planning Authority records of permitted development in the vicinity, it may be noted that there are no significant consented developments in the local area. Table 5.1 outlines three applications within a radius of approx. 1000m in the last 5 years.

Table 5.1 Planning applications in close proximity to the Proposed Development.

Planning Reference	Description of Development	Site Address	Decision Date	Distance from Site
18350	Alterations to existing planning permission p17/979 to consist of alterations to previously approved roofed garden display area (to replace existing roofed garden display area) together with alterations to previously approved car parking layout, construction of a storage building and fencing together with all ancillary site works and site services	Mount Street, Claremorris, Co. Mayo	07/10/2018	approx. 46 metres from proposed development
17979	Extension to existing storage building, replacement of existing garden tunnels, carpark, new entrance access onto public road, including all ancillary site works and site services, together with retention permission for development consisting of ground works commenced on site	Mount St., Claremorris, Co. Mayo	13/02/2018	approx. 46 metres from proposed development
19121	Retention and permission for amendments to existing apartments, previous ref. No. P91/203 and p98/66	Mount Street, Claremorris, Co. Mayo	13/08/2019	approx. 19 metres from proposed development
1894	Change of use of partial existing unit from office purposes (previously granted under p96/988) to residential purposes (1 no. Apartment), together with all ancillary site works and services	Dalton Street, Claremorris, Co. Mayo	09/07/2018	approx. 157 metres from proposed development
20886	Retain on site facilities security fencing and storage container and to construct a roofed ambulance shelter, together	Convent Road, Claremorris, Co Mayo	18/01/2021	approx. 271 metres from proposed development

Planning Reference	Description of Development	Site Address	Decision Date	Distance from Site
	with all ancillary site works and services			
19213	Change of use of existing first floor unit 8 from existing office use to proposed medical use and all associated site works and services	Unit 8 First Floor, Silverbridge Plaza, Kilcolman Road, Co. Mayo	17/05/2019	approx. 316 metres from proposed development
171046	Demolition of 2 no. Portacabin rooms, existing store and boiler room, change of use from health centre to dwelling house, construction of rear extensions to the existing structure, facade alterations to include new roof, wall, window and door finishes, together with all associated landscaping, site works and services	Claremorris Health Centre, Knock Road, Claremorris, Co. Mayo	21/03/2018	approx. 436 metres from proposed development
18748	Proposed new single storey 21sqm glazed entrance lobby to the front of the existing store with sloped roof over to match existing and associated site works	Inner Relief Road, Claremorris, Co. Mayo	21/11/2018	approx. 315 metres from proposed development
20786	Construct a new indoor tennis court and replace existing boundary fence, together with all ancillary site works and services	Clare, Claremorris, Co. Mayo	15/12/2020	approx. 296 metres from proposed development
19957	Permission sought to amalgamate 2. no existing commercial units, construct new extension to rear, new signage and façade to front elevation and associated site works	1-2 Greencourt Buildings, Ballyhaunis Road, Claremorris, Co. Mayo	10/02/2020	approx. 287 metres from proposed development
171020	A discount retail store (2264sqm gross floor area of which 1472sqm is net retail sales area including ancillary off licence	Clare, Claremorris, Co. Mayo	08/06/2018	approx. 425 metres from proposed development

Planning Reference	Description of Development	Site Address	Decision Date	Distance from Site
	area), car parking, service yard, plant, building mounted and freestanding signage, bicycle parking, hard and soft landscaping, boundary treatments, connection to existing services a new access off chapel lane and all associated site and development works			
17802	Convert existing dwelling house to 2 no. two bedroom apartments, together with all ancillary site works and services	No. 1 James Street, Claremorris, Co. Mayo	25/01/2018	approx. 425 metres from proposed development
19541	Demolition of existing dwelling house and ancillary sheds and the construction of a proposed new detached dwelling house, separate garage, widening of existing entrance, new boundary treatments, connection to public sewerage system, connection to site services, and all associated site works and landscaping	Ballindine Road, Clare, Claremorris, Co. Mayo	27/08/2019	approx. 568 metres from proposed development
18137	Replace existing signage and erection of stone facade, together with all ancillary site works and services	Lower James Street, Claremorris Co. Mayo	24/04/2018	approx. 591 metres from proposed development
19524	Construct extension to dwelling house comprising of first floor extension to dwellinghouse and attached garage on ground floor with all ancillary site works and services	3 ard Clare, Clare, Claremorris, Co. Mayo	29/08/2019	approx. 579 metres from proposed development
19710	Construct extension at first floor level over part of existing single storey industrial unit and establish use of said extension	Unit 12 Clar Industrial Estate, Clar, Claremorris, Co. Mayo	01/11/2019	approx. 740 metres from proposed development

Planning Reference	Description of Development	Site Address	Decision Date	Distance from Site
	and that of corresponding part of ground floor underneath as ancillary office use with staff facilities and circulation space, together with the necessary structural alterations and changes to elevations and all ancillary site works and services			
17890	Construction of extension to existing car parking area. Will comprise of an additional 160 car parking spaces, vehicular and pedestrian access, footpaths, security barrier, landscaping, boundary fence, alterations to existing car parking area with all associated siteworks and services	McWilliam Park Hotel, Claremorris, Co. Mayo	06/03/2018	approx. 966 metres from proposed development
2296	Single storey extension to existing dwelling house and relocate existing entrance gate	Convent road, Claremount, Claremorris, Co. Mayo	05/05/2022	approx. 970 metres from proposed development

There were no other planning applications in the area at the time of writing (May, 2022).

Having regard to the scale of the permitted developments in the vicinity, the AA Screening Assessment noted that there will be no likely significant effects to any European Site during the construction or operations phases of the Proposed Development. Therefore, there will be no in-combination effects with local planning applications.

- (c) the nature of any associated demolition works,

The site is currently vacant (infill site); no demolition works are proposed.

- (d) the use of natural resources, in particular land, soil, water and biodiversity,

The site is currently, in its entirety, an infill site, with a stretch of town-centre street frontage; the northern edge is bounded by a 2-storey town-centre dwelling, the southern edge is bounded by a 3-storey dwelling-over-shop. The western edge is bounded by the yard of a large garden centre retail outlet, and the eastern edge is the site frontage onto Mount Street.

The proposed use of natural resource of land is not considered to be significantly different to the existing situation with extensive 'Urban' habitat which has been grossly modified over the years and is of low ecological significance. In the 2014-2020 Mayo County Development Plan, the subject site is 'Infill' but allows for densities which are in context with Claremorris.

PG (2022) assessed the soil data collected from the boreholes against the LQM/CIEH S4ULs for Human Health Risk Assessment (S4ULs). All material tested complied with the residential S4ULs indicating that the material is suitable for retention on site following development. All proper engineering infrastructure will be developed to prevent any discharge to soils.

There are no surface water connections from the site to any watercourse or any hydrological link to any European Site. The nature of the proposed residential development will generate a demand for water, but this is for residential use and is not considered significant. Natural sustainable urban drainage systems (SUDS) will be incorporated into the surface water drainage design (Drawing 6674-JOD-XX-ZZ-DR-C-200-003: Watermain Site Layout Plan, Appendix A). The storm drainage for the entire development will be designed in accordance with the *Recommendations for Site Development Works for Housing Areas* and also the recommendations of the *Greater Dublin Strategic Drainage Study* (GSDSDS).

Adherence to best practice Construction and Environmental Management during the construction phase will ensure that development will not result in pollution of groundwater or surface water.

The site was surveyed by Jennings O'Donovan and Partners Limited lead chartered ecologist, Dr. Monica Sullivan MCIEEM CEnv in 2022. She noted that there was no evidence of ground level animal pathways or any tree /ground nesting birds onsite.

Where it is proposed that any shrubbery vegetation will be removed (including during the operation phase), compensatory native species will be planted. Where possible, any removal of vegetation will take place outside of the nesting season (i.e. March 1st to August 31st). No tree nesting birds were noted on site in 2022.

Biodiversity Net Gain Ireland is experiencing a biodiversity crisis and there are high level objectives to halt and ameliorate biodiversity loss. Mayo County Council propose to enhance biodiversity by planting native trees on site, and to showcase best practice in relation to biodiversity and climate change.

- Landscaping is proposed to allow for planting of deciduous native trees of various species
- (e) the production of waste

The proposed development of 6 housing units will generate general household waste. Operational waste for the residential development will be controlled by each housing unit. In terms of the production of waste, measures will be outlined to maximise the quantity of waste recycled by providing sufficient waste recycling infrastructure, waste reduction initiatives and waste collection and waste management information to the residents of the development.

A Japanese knotweed Management Plan has been developed for this site and will take precedence for any waste material generated onsite. Disposal of all waste will go to a licenced contractor for the category of respective waste discovered during the construction phase as identified in the Management Plan (Appendix B).

Priority Geotechnical (PG, 2022) also assessed the potential waste generation from the site and noted that any materials which may be excavated from site would meet the definition of waste under the Waste Framework Directive. They further note that, this may not be the case at the time of excavation when all or some of the materials may be declared a by-product in line with Article 27 of the European Communities (Waste Directive) Regulations 2011.

Excess soil and stone resulting from excavation works (the primary purpose of which is not the production of soil and stone) may be declared a by-product if all four by-product conditions outlined below are met:

- a) further use of the soil and stone is certain
- b) the soil and stone can be used directly without any further processing other than normal industrial practice
- c) the soil and stone is produced as an integral part of a production process
- d) further use is lawful in that the soil and stone fulfills all relevant requirements for the specific use and will not lead to overall adverse environmental or human health impacts.

Where waste is a mirror entry in the LoW, it can be classified via a process of analysis against standard criteria set out in the Waste Framework Directive. The assessment process is described in detail in guidance published by the Irish (EPA Waste Classification, List of Waste & Determining if Waste is Hazardous or Non-Hazardous, June 2015) and UK regulatory authorities (Guidance on the Classification and Assessment of Waste: Technical Guidance WM3, 2015). The assessment involves comparison of the concentration of various parameters against defined threshold values.

Waste Acceptance Criteria (WAC) have been agreed by the EU (Council Decision 2003/33/EC) and are only applicable to material if it is to be disposed of as a waste at a landfill facility.

During the construction phase, construction waste will be generated which will be the subject of a Japanese Management Plan and a construction Waste Management Plan.

PG assessed three (3 no.) samples using the HazWasteOnLine Tool. All samples were classified as being non-hazardous.

Asbestos fibres were not detected in samples analysed.

The PG assessed the soil data collected from the boreholes against the LQM/CIEH S4ULs for Human Health Risk Assessment (S4ULs). All material tested complied with the residential with homegrown S4ULs indicating that the material is suitable for retention on site following development.

The main use of natural resources will be land. Other resources used will be construction materials which will be typical raw materials used in the construction of residential developments. The scale and quantity of the materials used will not be such that would cause concern in relation to significant effects on the environment.

There will be some waste materials produced in the construction of the proposed scheme which will be disposed of using licensed waste disposal facilities and contractors. As is standard practice the scale of the waste production in conjunction with the use of licensed waste disposal facilities and contractors will not cause concern for likely significant effects on the environment.

(f) pollution and nuisances

Noise, vibration, lighting and dust arising from construction activities and construction traffic have the potential for pollution or nuisance.

It is probable that minor impacts of noise pollution during the construction phase will occur. However, plant machinery and motorised vehicles on local roads within the area are not unexpected or out of character. Working hours will be limited to hours set by the planning conditions. Minor impacts identified will occur predominately during the construction phase in terms of construction related noise, dust and traffic. The frequency of impacts will vary throughout the construction phase, but it still not considered to be significant. The minor impacts will be temporary and will not lead to long term residual impacts.

The proposed development is on an infill site. Currently, there is street lighting along the western roadside boundary of the site. Proposed lighting will adhere to the best practice lighting standards provided in the Institute of Lighting Professionals (ILP) guidance document Guidance Note 08/18 – Bats and Artificial Lighting in the UK (2018). A bat

survey was carried out by Jennings O'Donovan and Partners in 2022 and noted the use of the site by two species of bat for both foraging and commuting purposes (Appendix C).

As a result of the survey carried out, Mayo County Council will consider the minimisation of artificial light pollution and directional light on any newly planted trees /shrubbery, as much as possible in the lighting design of this new development. Therefore no adverse impacts on bats are anticipated during the operation of this development.

Mayo County Council will consider the planting of native species as they have higher associated assemblages of invertebrates. Such vegetation may provide potential foraging habitat to compensate for the naturally colonized young scrub (currently providing foraging) which will be removed onsite during the construction works. With the planting of native species with the new development, this could potentially have a positive effect on local bat populations.

Any risk of surface water pollution can be avoided by adherence to best practice Construction and Environmental Management during the construction phase which will ensure that the development would not result in pollution of groundwater or surface water. The Proposed Development is primarily for a small residential development. Accordingly, there are no significant expected significant residues or emissions. Aspects of energy efficiency are incorporated into the modern energy efficient design of the buildings.

- (g) the risk of major accidents, and/or disasters which are relevant to the project concerned, including those caused by climate change, in accordance with scientific knowledge,

Standard construction practices will be employed throughout the construction phase to mitigate the potential of any major accidents or disasters from occurring. The proposed development will result in no particular risk of accidents arising from substances or technologies used. Traffic will be generated during the construction period, but for a temporary and defined period only.

- (h) the risks to human health (for example, due to water contamination or air pollution).

The nature of the proposed development and the engineering provisions will not lead to the likelihood of any risk to human health. The proposed development is of standard construction method and of appropriate scale and does not require the use of particular substances or use of technologies which of themselves are likely to give rise to significant environmental effects.

Mount Street is located within the settlement of Claremorris with a noted population of 3984 in 2021. There are no operational impacts associated with this residential development that would be likely to cause significant effects in terms of human health.

The Proposed Development will increase the local area population by c. 18 no. people once complete and fully occupied. This increase in population can be accommodated within this area and there is a sufficiency of physical and social

infrastructure in the area to support this additional development such as transport links, schools, a church, public swimming pool, shops and medical facilities.

4.7.2 Location of the Proposed Development

The location of the Proposed Development is described in section 2 above.

The environmental sensitivity of geographical areas likely to be affected by the proposed development, with particular regard to—

- (a) the existing and approved land use

The existing and approved land is a vacant infill site and considered of low ecological significance due to intense modification over the years. The site was used for urban practices, including pre-existing dwellings. Residential dwellings and amenities are common and widespread in the local area. There will be no significant impact on the local ecology or agricultural practices as a result of this development.

The land on which the site is proposed is 'Infill'. As such, the use of this material asset is in a manner compatible with the zoning designation, is entirely appropriate. Once constructed, the operation phase will provide an important material asset for the area in terms of 6 no. residential units. Whilst the demand on water services, power, telecommunications and transport infrastructure will all increase as a result of the development, the impact on these material assets will not be significant and can be facilitated within planned demand loads for the area.

- (b) the relative abundance, availability, quality and regenerative capacity of natural resources (including soil, land, water and biodiversity) in the area and its underground

The proposal is not of such a scale that it would impact significantly upon the natural resources in this geographical area. The site is an infill site, of low ecological significance and a common feature in the local landscape. The application does involve any loss of mature trees or hedgerows and enhanced tree planting is proposed which will redress this loss.

- (c) the absorption capacity of the natural environment, paying particular attention to the following areas:

- (i) wetlands, riparian areas, river mouths;

The proposal is not of such a location or scale that it would impact upon the absorption capacity of this aspect.

- (ii) coastal zones and the marine environment;

The proposal is not of such a location or scale that it would impact upon the absorption capacity of this aspect.

- (iii) mountain and forest areas;

The proposal is not of such a location or scale that it would impact upon the absorption capacity of this aspect.

- (iv) nature reserves and parks

The proposal is not of such a location or scale that it would impact upon the absorption capacity of this aspect.

- (v) areas classified or protected under legislation, including Natura 2000 areas designated pursuant to the Habitats Directive and the Birds Directive and;

The Appropriate Assessment Screening Report indicates no significant effect anticipated on any Natura 2000 sites or other designated sites.

- (vi) areas in which there has already been a failure to meet the environmental quality standards laid down in legislation of the European Union and relevant to the project, or in which it is considered that there is such a failure;

This does not apply.

- (vii) densely populated areas;

The surrounding area is not densely populated. Given the quantum of units and proposed density, this does not apply.

- (viii) landscapes and sites of historical, cultural or archaeological significance.

The National Monuments Service Archaeological Survey Database does not indicate any specific designations to this site. No protected structures exist on the site, and the site is not located in a conservation area.

The site is not located within an area of archaeological interest and is therefore not expected to have any significant impacts on archaeology, architectural or cultural heritage.

4.7.3 Characteristics of Potential Impacts

- (a) the magnitude and spatial extent of the impact (for example, geographical area and size of the population likely to be affected)

The magnitude of the proposal (0.0793ha) transforms an infill site into a small housing development. The proposed development is for 6 residential units, associated landscaping including on street parking spaces (Figure 4.1). The houses are

'apartment', 'two storey' and 'semi-detached' style and are limited to an approximate height of approx. 6.5m.

The scale of the proposed development will extend the existing Claremorris urban area and will increase the limited population density in this area. The development will provide serviced residential accommodation. The extent of the impact will be confined to that area in the immediate environs of the subject site and will be limited primarily to the residential population in the vicinity.

(b) the nature of the impact

The impact will be an increase in the residential population to provide a specific type of housing. The impact will provide housing in a time of severe shortage and in accordance with the Mayo County Development Plan core strategy and as identified above in Section 4.

(c) the transboundary nature of the impact,

This does not apply.

(d) the intensity and complexity of the impact,

The proposal in itself is not of a complex nature such that it warrants an EIAR.

(e) the probability of the impact

Should approval be given, the development will proceed

(f) the expected onset, duration, frequency and reversibility of the impact,

The principal impacts associated with the proposal will most likely be concentrated during the construction phase. The development will be permanent.

(g) the cumulation of the impact with the impact of other existing and/or development, the subject of a consent for proposed development for the purposes of section 172(1A)(b) of the Act and/or development the subject of any development consent for the purposes of the Environmental Impact Assessment Directive by or under any other enactment, and this is addressed in section 5.7.1.2 (Wider Area) above.

(g) the possibility of effectively reducing the impact.

On the issue of the built structures, it is considered that the proposal will visually change the existing landscape, however, the design put forward is for a small rural residential housing estate approach which is a high standard architectural design, consistent with neighbouring structures with the provision of well-designed gardens, infrastructure and associated open spaces, lighting and landscaping.

In terms of wastewater treatment, it is considered that the impact upon the existing sewage system will be fully scoped having regard to the requirements of Irish Water. The floor levels of the development will be constructed above the 100 year predicted flood events.

Four Water and Storm Drainage

The foul and storm drainage for the entire development will be collected throughout the site in the foul pipe network and will then discharge by gravity to the existing foul sewer network located running adjacent to the eastern boundary of the proposed site in Walsh Street. All of the pipe sizes and gradients are clearly indicated on the associated drawings. Details of the development's foul drainage network are shown on Drawing No. 6674-JOD-XX-ZZ-DR-C-200-001.

Watermain

The water main has been designed in accordance with the Code of Practice for Water Infrastructure. A 110mm OD PE connection is proposed to be made to the existing \emptyset 250mm uPVC watermain located in Walsh Street at the eastern boundary of the proposed site, as shown on Drawing No. 6674-JOD-XX-ZZ-DR-C-200-003, included in **Appendix A**. A 50mm PE connection will be made to each dwelling/unit.

4.8 Inter relationship with above factors

All details have been outlined as required under The 'Environmental Impact Assessment (EIA) Guidance for Consent Authorities Regarding Sub-Threshold Development' groups criteria for deciding whether or not a proposed development would be likely to have significant effects on the environment under three main headings which corresponded to the updated Schedule 7. It is considered that any of the previously identified relatively minor impacts would not in themselves be considered significant nor would they cumulatively result in a likely significant effect on the environment.

The supporting AA Screening Assessment for this development has *shown there will be no likely significant effects to any European Site during the construction or operations phases of the Proposed Development. Therefore, there will be no in-combination effects with local planning applications.*

5. CONCLUSION

This EIA Screening Report has been prepared in relation to a Part 8 residential development on land situated at Claremorris, Co. Mayo in accordance with Article 120 (1) (b) of the Planning & Development Regulations, 2001 as amended, having regard to the following:

- The location, size and nature of this serviced site located in an urban setting and distanced from protected and/or environmentally sensitive sites

- The proposed development is below the threshold of a mandatory EIA which would require an Environmental Impact Assessment Report (EIAR)
- The modest scale and quantum of the residential development proposed and integration with the adjoining community of Claremorris.
- The description of possible effects on the environment are not considered significant and therefore further assessment pursuant to the Planning and Development Regulations 2001 as amended are not considered necessary.
- An Appropriate Assessment Screening has been carried out. It concluded that the proposed development will not cause direct or indirect impacts on any Natura 2000 sites, and that an Appropriate Assessment is not required.

It is considered that a sub-threshold EIAR is not required for the Proposed Development as the proposal is below the thresholds of Schedule 5 of the Planning and Development Regulations.

All standard practices will be employed throughout the construction and operation phase of the development to ensure that the Proposed Development will not create any significant impacts on the quality of the surrounding environment.

6. REFERENCES

Priority Geotechnical Ltd (2022) Claremorris, Co. Mayo – Ground Investigation

EPA (2017) Guidelines on the Information to be Contained in Environmental Impact Assessment Reports (Draft). Environmental Protection Agency.

EU (2017) Environmental Impact Assessment of Projects, Guidance on Screening (Directive 2011/92/EU as amended by 2014/52/EU).

EPA Maps, <https://gis.epa.ie/EPAMaps/AAGeoTool>

Biodiversity Maps, <https://maps.biodiversityireland.ie/Map>

Geological Survey Ireland Spatial Resources (GSI),

<https://dcenr.maps.arcgis.com/apps/MapSeries/index.html?appid=a30af518e87a4c0ab2fbde2aac3c2>
28

Flood Maps, <https://www.floodinfo.ie/map/floodmaps/>

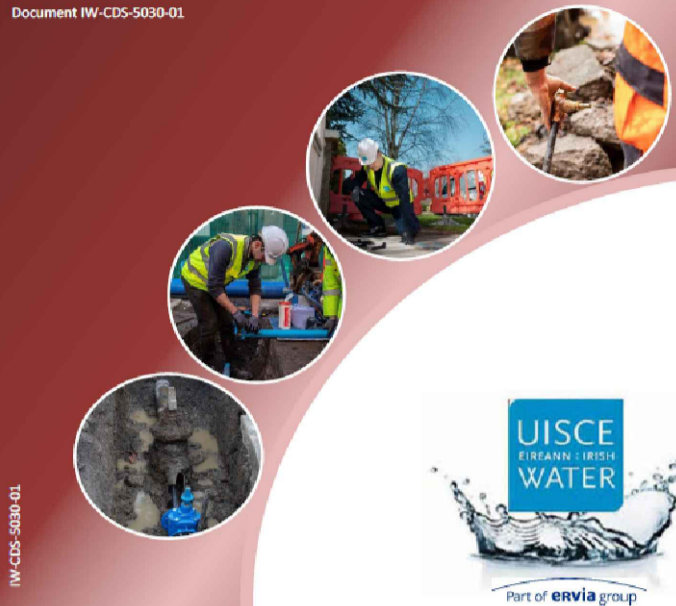
APPENDIX A

DRAWINGS

Wastewater Infrastructure Standard Details

Connections and Developer Services

Design and Construction Requirements for Self-Lay Developments
July 2020 (Revision 4)
Document No. CDS-5030-03



NOTE: CONTRACTOR IS TO REFER TO REVISION 4 OF THE IRISH WATER STANDARD DETAILS DATED JULY 2020 FOR WASTEWATER INFRASTRUCTURE DETAILS. THIS BOOKLET HAS BEEN INCLUDED IN PART OF THE CIVIL/STRUCTURAL PACKAGE.

NOTES:-

ALL WORKS TO BE CARRIED OUT TO IRISH WATER CODE OF PRACTICE DOCUMENT CDS-5030-03

FOUL WASTE WATER LAYOUT TO BE INSTALLED IN ACCORDANCE WITH IRISH WATER STANDARD DETAIL STD-WW-02 REGARDING GENERAL LAYOUT.

ALL FOUL WASTEWATER DRAINAGE PIPE WORK, INCLUDING SERVICE CONNECTIONS TO COMPLY WITH SECTION 3.6 OF I.W. CODE OF PRACTICE REGARDING PIPE WORK GRADIENTS.

ALL FOUL WASTEWATER PIPE WORK MATERIAL TO COMPLY WITH SECTION 3.13 OF THE IRISH WATER CODE OF PRACTICE.

ALL MANHOLES TO BE CONSTRUCTED IN ACCORDANCE WITH I.W. STD-WW-10 and I.W. STD-WW-12.

WHERE FOUL AND SURFACE WATER MANHOLES AREA ADJACENT THEIR POSITIONS SHOULD BE STAGGERED TO ALLOW FOR CROSSING OVER OF SEWERS AS PER SECTION 3.5.13 OF I.W. CODE OF PRACTICE.

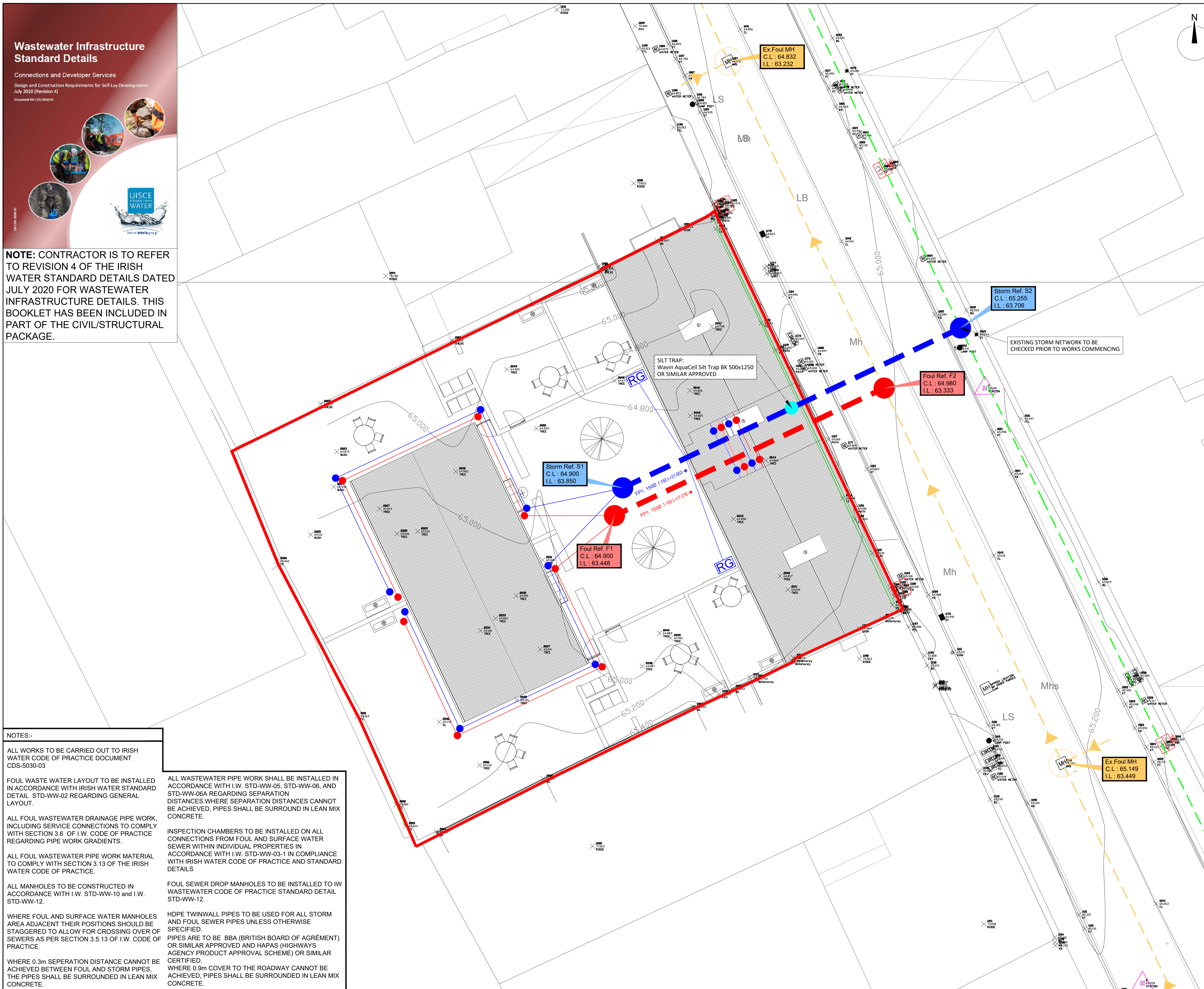
WHERE 0.3m SEPERATION DISTANCE CANNOT BE ACHIEVED BETWEEN FOUL AND STORM PIPES, THE PIPES SHALL BE SURROUNDED IN LEAN MIX CONCRETE.

ALL WASTEWATER PIPE WORK SHALL BE INSTALLED IN ACCORDANCE WITH I.W. STD-WW-05, STD-WW-06, AND STD-WW-06A REGARDING SEPERATION DISTANCES.WHERE SEPERATION DISTANCES CANNOT BE ACHIEVED, PIPES SHALL BE SURROUNDED IN LEAN MIX CONCRETE.

INSPECTION CHAMBERS TO BE INSTALLED ON ALL CONNECTIONS FROM FOUL AND SURFACE WATER SEWER WITHIN INDIVIDUAL PROPERTIES IN ACCORDANCE WITH I.W. STD-WW-03-1 IN COMPLIANCE WITH IRISH WATER CODE OF PRACTICE AND STANDARD DETAILS

FOUL SEWER DROP MANHOLES TO BE INSTALLED TO IW WASTEWATER CODE OF PRACTICE STANDARD DETAIL STD-WW-12.

HDPE TWINWALL PIPES TO BE USED FOR ALL STORM AND FOUL SEWER PIPES UNLESS OTHERWISE SPECIFIED.
PIPES ARE TO BE BBA (BRITISH BOARD OF AGRÉMENT) OR SIMILAR APPROVED AND HAPAS (HIGHWAYS AGENCY PRODUCT APPROVAL SCHEME) OR SIMILAR CERTIFIED.
WHERE 0.9m COVER TO THE ROADWAY CANNOT BE ACHIEVED, PIPES SHALL BE SURROUNDED IN LEAN MIX CONCRETE.



NOTES

- GENERAL NOTES:
- FIGURED DIMENSIONS ONLY TO BE TAKEN FROM THIS DRAWING.
 - ALL DRAWINGS TO BE CHECKED BY THE CONTRACTOR ON SITE.
 - ENGINEER/EMPLOYERS REPRESENTATIVE, AS APPROPRIATE, TO BE INFORMED BY THE CONTRACTOR OF ANY DISCREPANCIES BEFORE ANY WORK COMMENCES
 - THE CONTRACTOR SHALL UNDERTAKE A THOROUGH CHECK FOR THE ACTUAL LOCATION OF ALL SERVICES/UTILITIES, ABOVE AND BELOW GROUND, BEFORE ANY WORK COMMENCES
 - ALL LEVELS SHOWN RELATE TO ORDANCE SURVEY DATUM AT MALIN HEAD
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO VERIFY THE ACCURACY OF THIS PROPOSAL TO THE ENGINEER AND ALLOW FOR MINOR CORRECTIONS AS DEEMED NECESSARY WITH A REASONABLE TIMEFRAME.

LEGEND

- SITE BOUNDARY shown thus ———
- PROPOSED STORM MANHOLE shown thus ●
- PROPOSED STORM WATER NETWORK shown thus - - - - -
- PROPOSED FOUL MANHOLE shown thus ●
- PROPOSED FOUL NETWORK shown thus - - - - -
- PROPOSED SURFACE WATER CONNECTIONS shown thus ———
- PROPOSED FOUL WATER CONNECTIONS shown thus ———
- PROPOSED ROAD GULLIES shown thus RG
- EXISTING FOUL MANHOLE shown thus ○
- EXISTING 225mm Ø FOUL NETWORK shown thus - - - - -
- EXISTING 250mm Ø STORM NETWORK shown thus (LOCATION TBC) - - - - -

DRAFT

Site Area:-
792 m², 0.1957 Acres, 0.0792 Hectares
ITM Co-Ordinates of site:-
533993, 775103
Ordnance Survey Ireland Licence No. CYAL50244098
© Ordnance Survey Ireland/Government of Ireland.
OS Sheet No. 2275

D.01	Issued for Discussion	AP	MF	06.07.22
rev.	modifications	by	chkd	date
Layout Ref.:	P:\Jod-jobs\6674 Mount St Hsing\703 Drawings\703 Planning\01 WPI\6674-JOD-XX-ZZ-DR-C-200-001-002 Foul & Storm Site Layout Plan.dwg			

client Comhairle Contae Mhaigh Eo Mayo County Council

project
PROPOSED DEVELOPMENT AT MOUNT STREET, CLAREMORRIS, CO. MAYO

stage
DRAFT

title
FOUL & STORM SITE LAYOUT PLAN

scale
1:100 @ A1

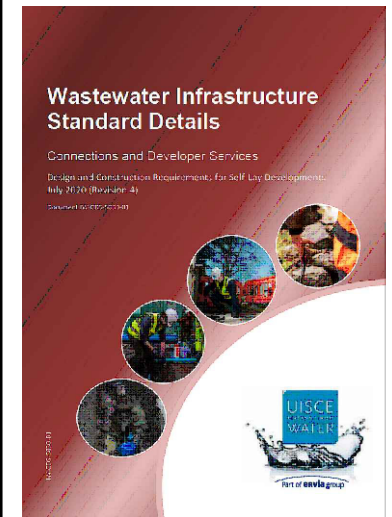
surveyed	drawn	checked	date
JOD	AP	MF	July 2022

© COPYRIGHT OF
JENNINGS O'DONOVAN & PARTNERS
CONSULTING ENGINEERS,
FINISKLIN,
SLIGO,
IRELAND.
TEL. +353 (0)71 916 1416
FAX. +353 (0)71 916 1080
Email: info@jodireland.com

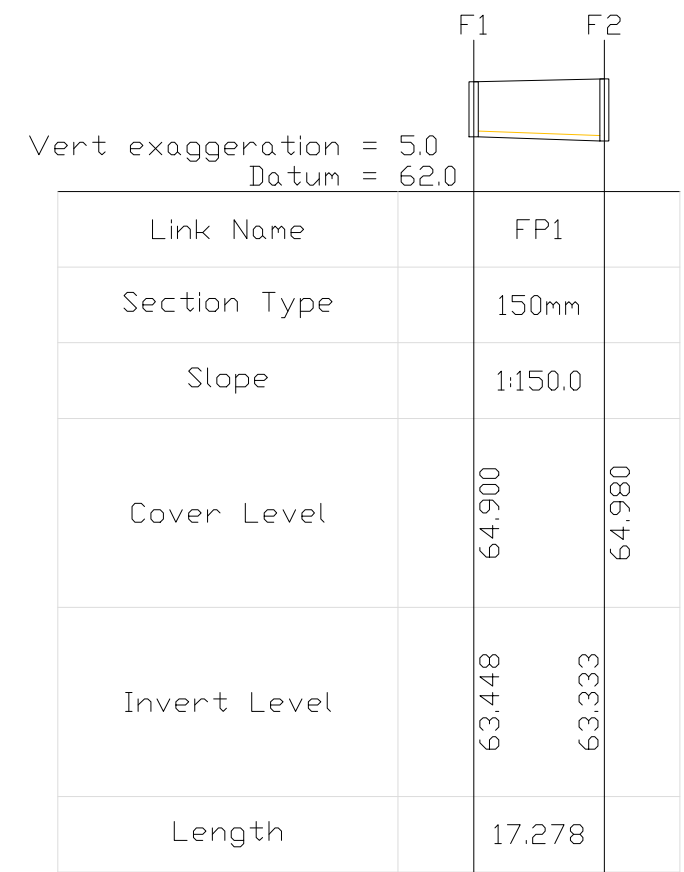
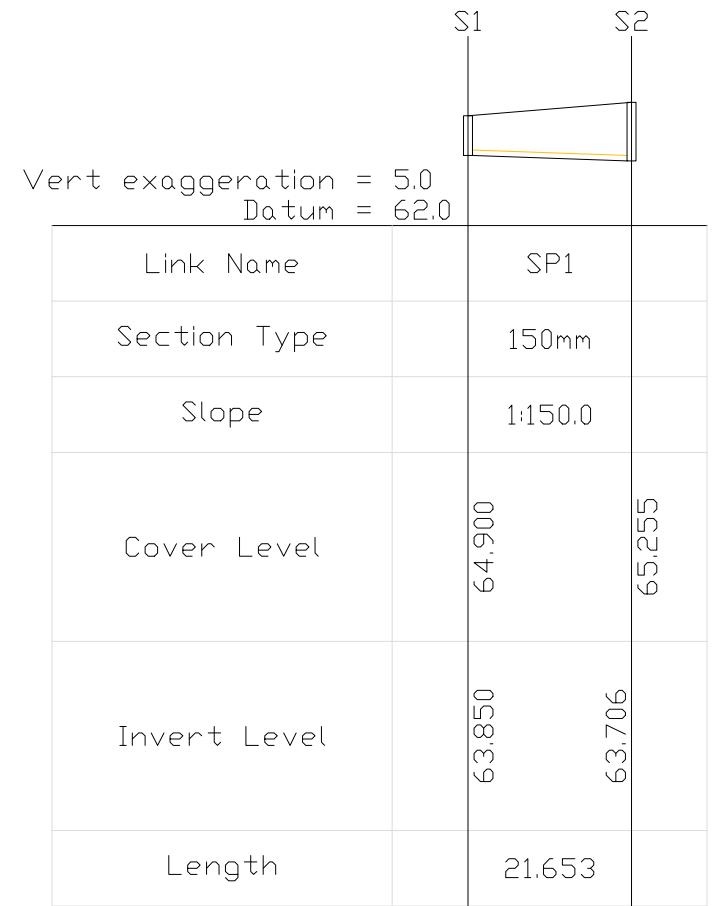
drawing no.	revision
6674-JOD-XX-ZZ-DR-C-200-001	D.01

NOTES

- GENERAL NOTES:
- FIGURED DIMENSIONS ONLY TO BE TAKEN FROM THIS DRAWING.
 - ALL DRAWINGS TO BE CHECKED BY THE CONTRACTOR ON SITE ENGINEER/EMPLOYERS REPRESENTATIVE, AS APPROPRIATE, TO BE INFORMED BY THE CONTRACTOR OF ANY DISCREPANCIES BEFORE ANY WORK COMMENCES
 - THE CONTRACTOR SHALL UNDERTAKE A THOROUGH CHECK FOR THE ACTUAL LOCATION OF ALL SERVICES/UTILITIES, ABOVE AND BELOW GROUND, BEFORE ANY WORK COMMENCES
 - ALL LEVELS SHOWN RELATE TO ORDNANCE SURVEY DATUM AT MALIN HEAD
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO VERIFY THE ACCURACY OF THIS PROPOSAL TO THE ENGINEER AND ALLOW FOR MINOR CORRECTIONS AS DEEMED NECESSARY WITH A REASONABLE TIMEFRAME.



NOTE: CONTRACTOR IS TO REFER TO REVISION 4 OF THE IRISH WATER STANDARD DETAILS DATED JULY 2020 FOR WASTEWATER INFRASTRUCTURE DETAILS.



D.01	Issued for Discussion	AP	MF	06.07.22
rev.	modifications	by	chkd	date
Layout Ref.:				
file	P:\jod-jobs\6674 Mount St Hsing\700 Drawings\703 Planning\01 WIP\6674-JOD-XX-ZZ-DR-C-200-001-002 Foul & Storm Site Layout Plan.dwg			

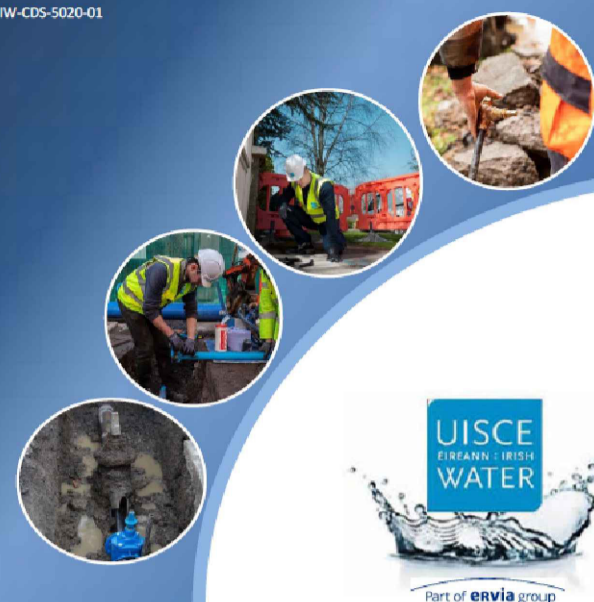
client	Comhairle Contae Mhaigh Eo Mayo County Council		
project	PROPOSED DEVELOPMENT AT MOUNT STREET, CLAREMORRIS, CO. MAYO		
stage	DRAFT		
title	PROPOSED FOUL AND STORM SEWER SECTIONS		
scale	HORIZ: 1:1000, VERT: 1:200 @ A3		
surveyed	drawn	checked	date
	AP	MF	July 2022

© COPYRIGHT OF
JENNINGS O'DONOVAN & PARTNERS
 CONSULTING ENGINEERS,
 FINISKLIN,
 SLIGO,
 IRELAND.
 TEL. +353 (0)71 916 1416
 FAX. +353 (0)71 916 1080
 Email: info@jodireland.com

drawing no.	6674-JOD-XX-ZZ-DR-C-600-002	revision	D.01
-------------	-----------------------------	----------	------

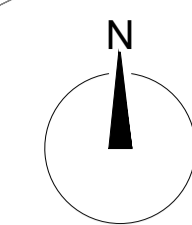
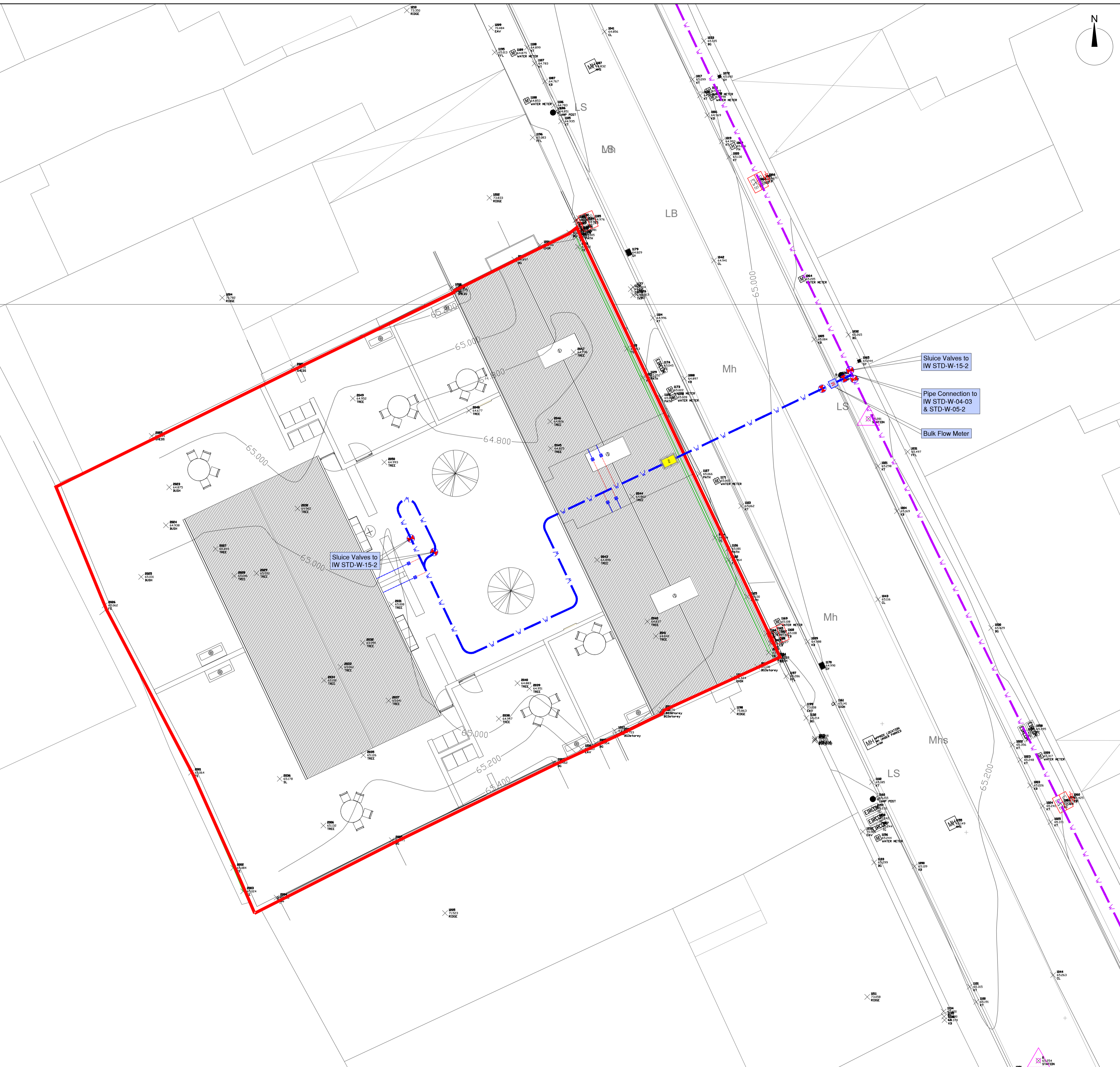
Water Infrastructure Standard Details

Connections and Developer Services
Construction Requirements for Self-Lay Developments
July 2020 (Revision 4)
Document IW-CDS-5020-03



NOTE: CONTRACTOR IS TO REFER TO REVISION 4 OF THE IRISH WATER STANDARD DETAILS DATED JULY 2020 FOR WATER INFRASTRUCTURE DETAILS. THIS BOOKLET HAS BEEN INCLUDED AS PART OF THE CIVIL/STRUCTURAL PACKAGE.

NOTES:-
ALL WATER BOUNDARY BOXES TO BE IN COMPLIANCE WITH IRISH WATER CODE OF PRACTICE AND STANDARD DETAILS
WATER MAINS LAYOUT TO BE INSTALLED IN ACCORDANCE WITH IRISH WATER STANDARD DETAIL STD-W-02 REGARDING GENERAL LAYOUT
WATER MAINS LAYOUT TO BE INSTALLED IN ACCORDANCE WITH IRISH WATER STANDARD DETAIL STD-W-11, STD-W-12 AND STD-W-12A REGARDING SEPARATION DISTANCES
ALL WORKS TO BE CARRIED OUT TO IRISH WATER CODE OF PRACTICE DOCUMENT IW-CDS-5020.03
SCOUR VALVES TO COMPLY WITH STD-W-30



- ### NOTES
- GENERAL NOTES:**
- FIGURED DIMENSIONS ONLY TO BE TAKEN FROM THIS DRAWING.
 - ALL DRAWINGS TO BE CHECKED BY THE CONTRACTOR ON SITE.
 - ENGINEER/EMPLOYERS REPRESENTATIVE, AS APPROPRIATE, TO BE INFORMED BY THE CONTRACTOR OF ANY DISCREPANCIES BEFORE ANY WORK COMMENCES.
 - THE CONTRACTOR SHALL UNDERTAKE A THOROUGH CHECK FOR THE ACTUAL LOCATION OF ALL SERVICES/UTILITIES, ABOVE AND BELOW GROUND, BEFORE ANY WORK COMMENCES.
 - ALL LEVELS SHOWN RELATE TO ORDNANCE SURVEY DATUM AT MALIN HEAD.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO VERIFY THE ACCURACY OF THIS PROPOSAL TO THE ENGINEER AND ALLOW FOR MINOR CORRECTIONS AS DEEMED NECESSARY WITH A REASONABLE TIMEFRAME.

- ### LEGEND
- SITE BOUNDARY shown thus
 - WATERMAIN SUPPLY Ø 110mm OUTSIDE DIAMETER PE100 JDR1. PIPE MATERIAL SHALL BE IN COMPLIANCE WITH IRISH WATER SECTION 3.9 OF THE CODE OF PRACTICE.
 - PROPOSED WATER SUPPLY CONNECTION WITH BOUNDARY BOX TO I.W. STD-W-03 shown thus
 - FIRE HYDRANT TO I.W. STD-W-18/19 shown thus (1 No. Hyd)
 - SLUICE VALVE TO I.W. STD-W-15-2 shown thus (6 No. SV's)
 - BULK FLOW METER To Incl. Kiosk to STD-W-36 AND METER CHAMBER TO STD-W-26 shown thus
 - EXISTING 250mm uPVC WATERMAIN

DRAFT

Site Area:-
792 m², 0.1957 Hectares
ITM Co-Ordinates of site:-
533993, 775103
Ordnance Survey Ireland Licence No. CYAL50244098
© Ordnance Survey Ireland/Government of Ireland.
OS Sheet No. 2275

D.01	Issued for Discussion	AP	MF	06.07.22
rev.	modifications	by	chkd	date
Layout Ref.:	file P:\Jod-jobs\6674 Mount St Hsing\700 Drawings\703 Planning\01 WIP\6674-JOD-XX-ZZ-DR-C-200-003 Watermain Site Layout Plan.dwg			

client Comhairle Contae Mhaigh Eo Mayo County Council

project
PROPOSED DEVELOPMENT AT MOUNT STREET, CLAREMORRIS, CO. MAYO

stage
DRAFT

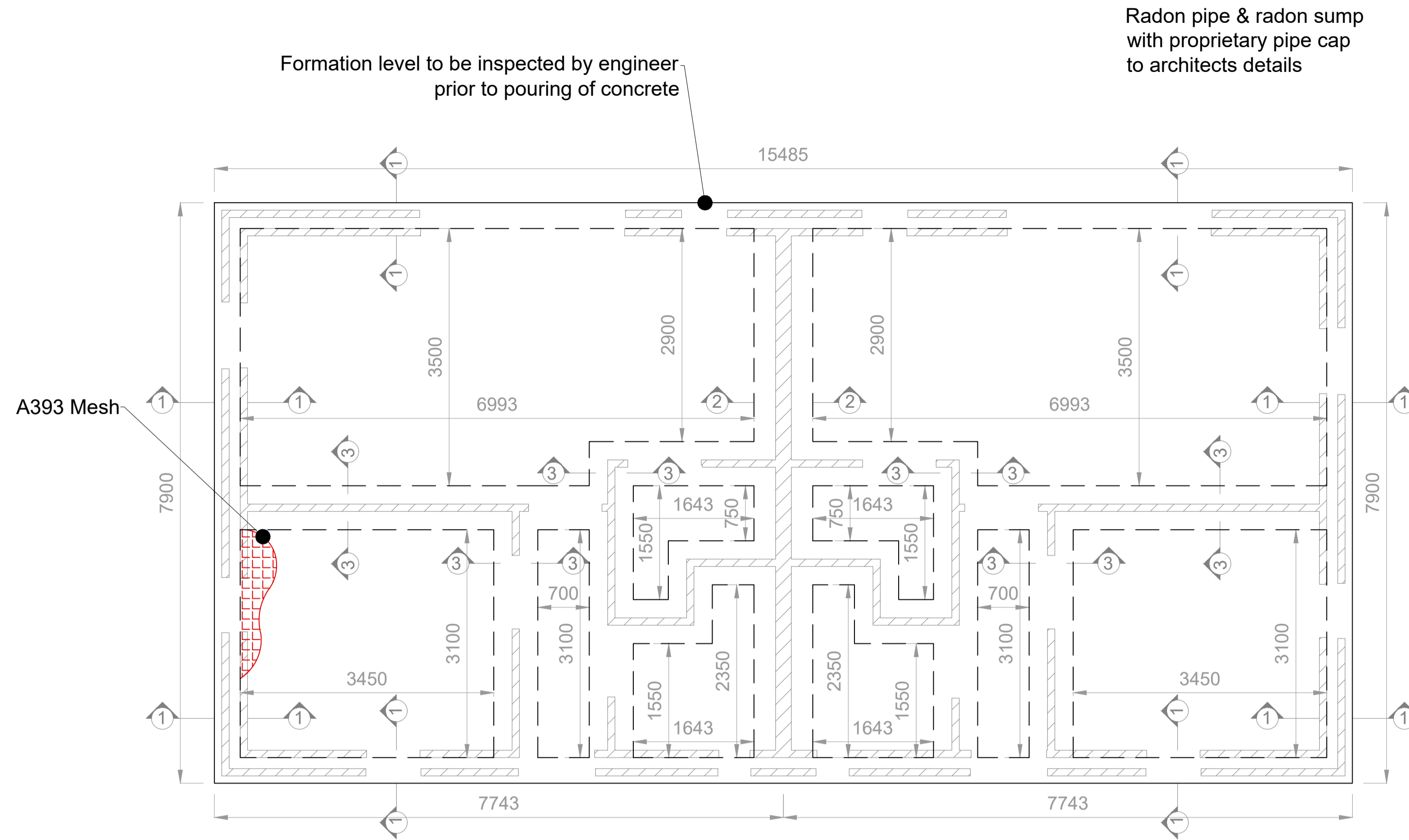
title
WATERMAIN SITE LAYOUT PLAN

scale
1:100 @ A1

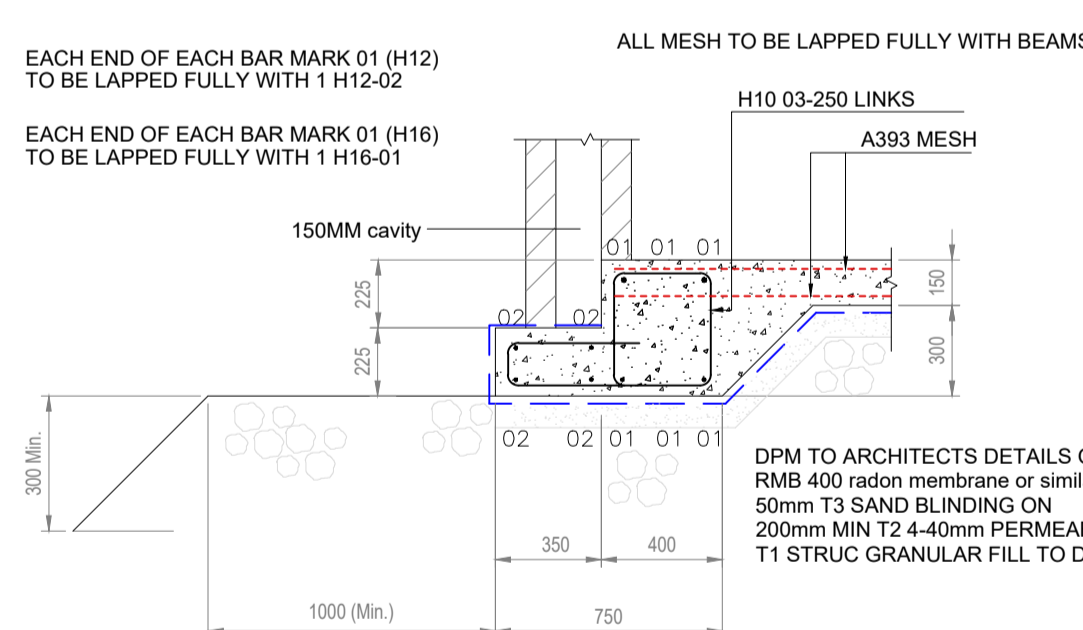
surveyed	drawn	checked	date
JOD	AP	MF	July 2022

© COPYRIGHT OF
JENNINGS O'DONOVAN & PARTNERS CONSULTING ENGINEERS, FINISKLIN, SLIGO, IRELAND.
TEL. +353 (0)71 916 1416
FAX. +353 (0)71 916 1080
Email: info@jodireland.com

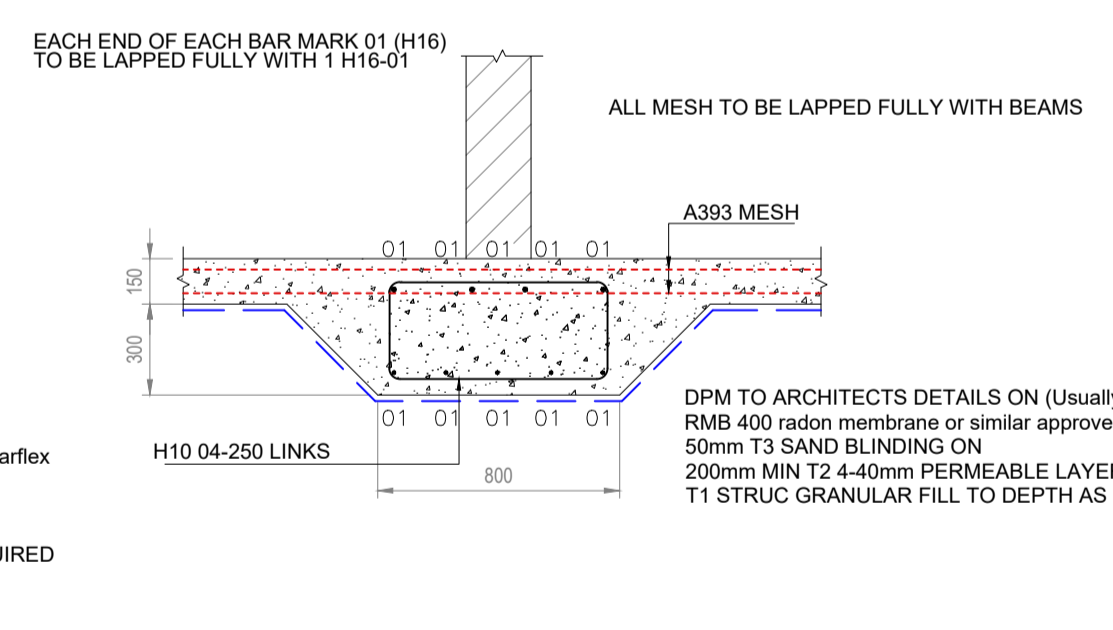
drawing no.	revision
6674-JOD-XX-ZZ-DR-C-200-003	D.01



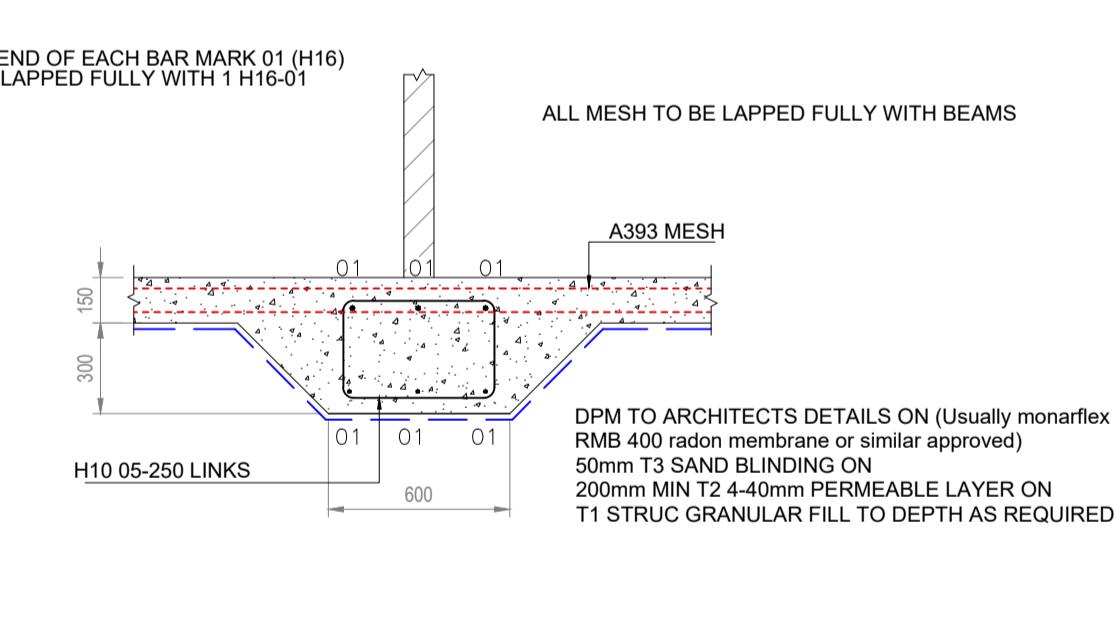
Foundation Plan - House Site A
Scale 1:50 @ A1



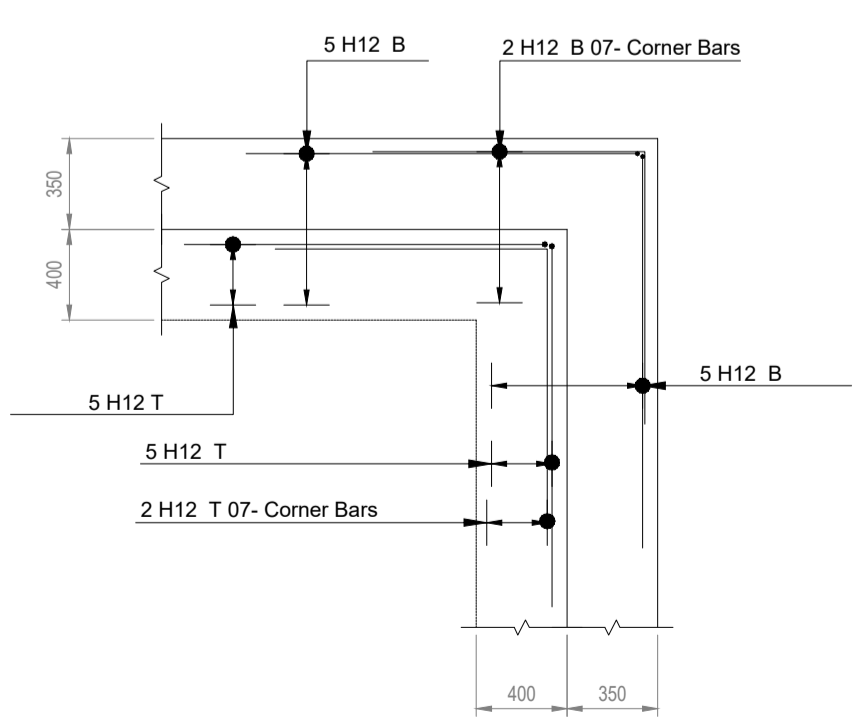
A1 Section 1-1
Scale 1:25 @ A1



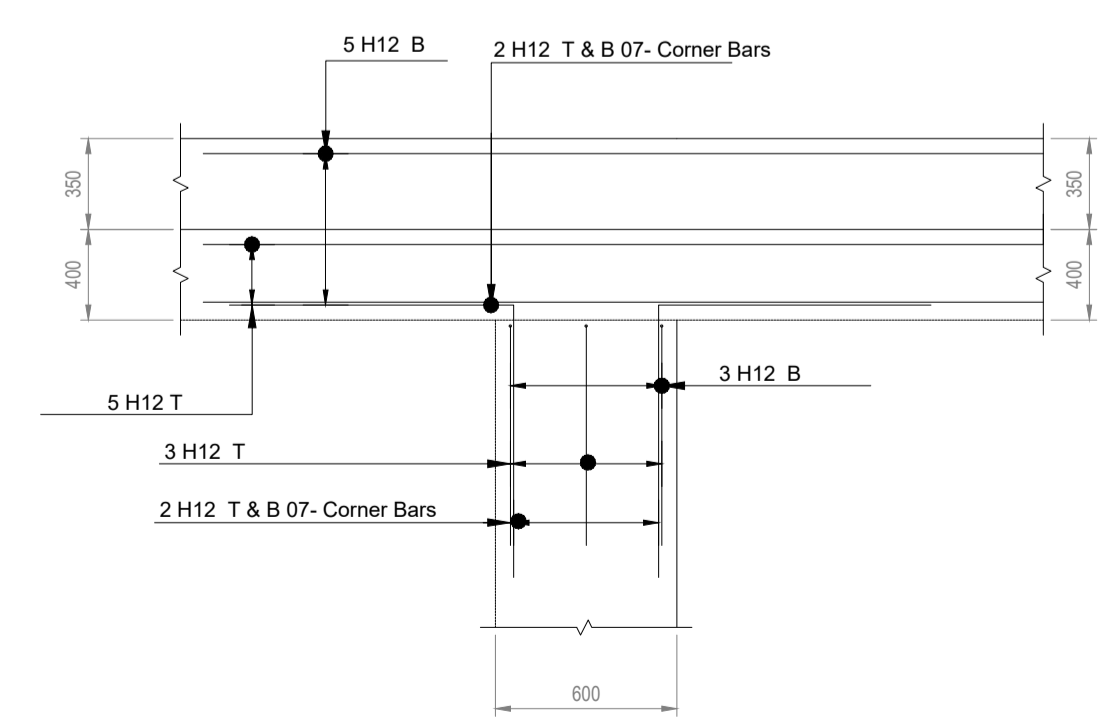
A2 Section 2-2
Scale 1:25 @ A1



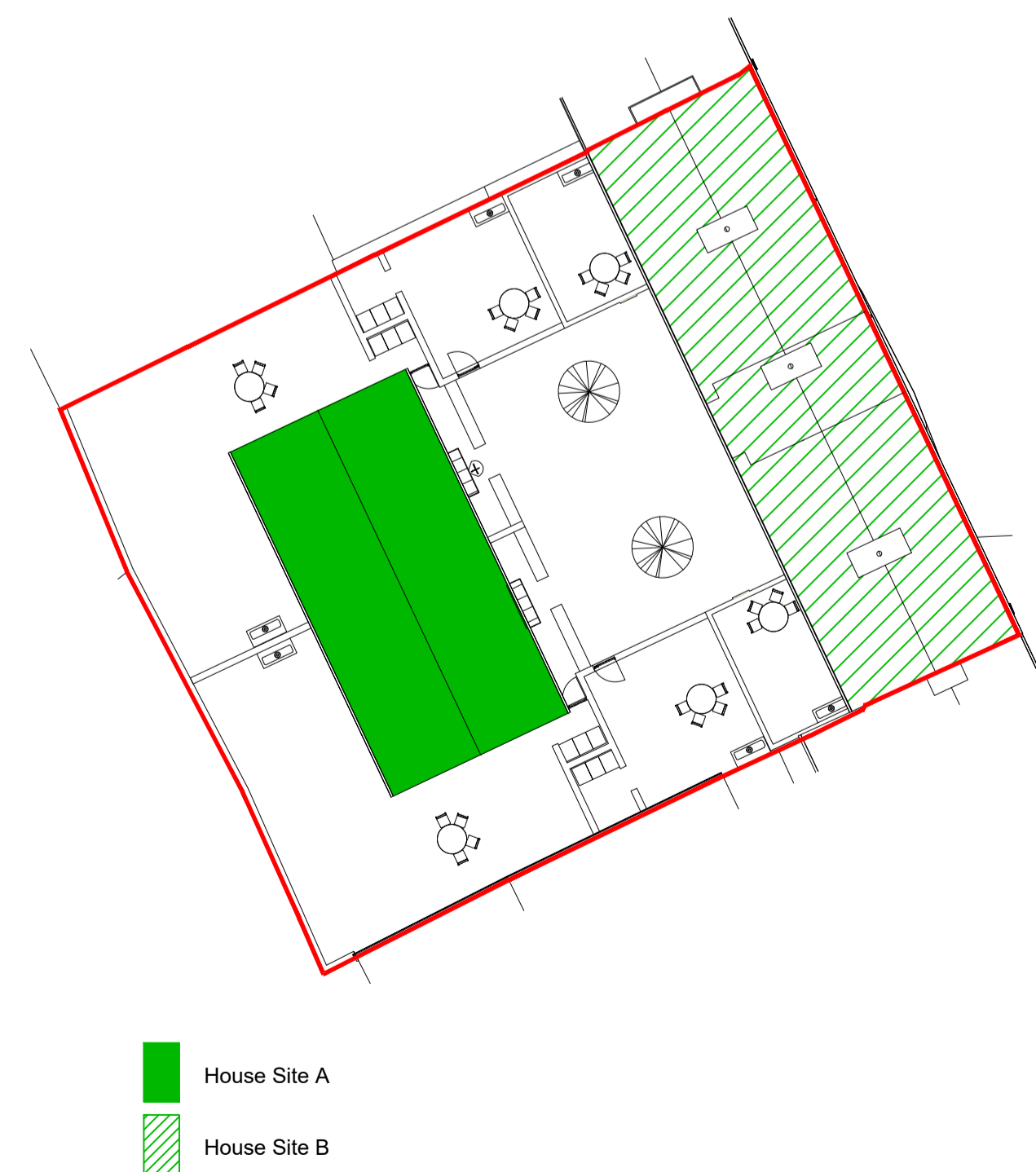
A3 Section 3-3
Scale 1:25 @ A1



A4 Section
Scale 1:25 @ A1
TYPICAL CORNER DETAIL



A5 Section
Scale 1:25 @ A1
TYPICAL INTERNAL CAGE CONNECTION DETAIL



KEY PLAN Scale 1:250

NOTES cont'd

TEMPORARY WORKS AND TEMPORARY WORKS DESIGNER:

ALL WORKS NOT FORMING PART OF THE PERMANENT WORKS BUT WHICH ARE REQUIRED TO ENABLE OR FACILITATE CONSTRUCTION ARE TEMPORARY WORKS.

TEMPORARY WORKS INCLUDE SUCH WORKS AS TRENCH SHORING, TEMPORARY PROPPING, SCAFFOLDING, GANGWAYS, WORKING PLATFORMS, ACCESS STAIRS, LADDERS ETC.

TEMPORARY WORKS ALSO INCLUDE MEASURE TO BE TAKEN TO ENSURE THE STABILITY OF THE ALL EXISTING STRUCTURES DURING DEMOLITION, OR WHILE THE PERMANENT WORKS ARE BEING PUT IN PLACE.

THE PERMANENT WORKS DESIGNER IS NOT RESPONSIBLE FOR THE DESIGN OF THE TEMPORARY WORKS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPOINT A COMPETENT DESIGNER TO DESIGN THE TEMPORARY WORKS. ANY SUCH DESIGNER IS REQUIRED TO COMPLY WITH THE CURRENT SAFETY HEALTH AND WELFARE AT WORK REGULATIONS IN RESPECT OF THE ROLE OF 'DESIGNER'

MASONRY:

1. THE CHARACTERISTIC COMPRESSIVE STRENGTH OF THE BLOCKS SHALL BE MIN 13N/mm² U.N.O ON DRAWINGS. BLOCKS SHALL BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACES.
2. FOR MASONRY CONSTRUCTION DURING FROST WEATHER REFER TO SPECIFICATION AND PROVISIONS OF BS 5628
3. FOR CAVITIES, 150MM WIDE, PROVIDE S/S DOUBLE TRIANGLE TYPE WALL TIES. TO IS EN 845 2003 + A1: 2008 @ 450C/C VERTICALLY AND @ 450C/C HORIZONTALLY. PROVIDE TIES @ 225C/C (MAX) VERTICALLY TO JAMS OF ALL OPES. MINIMUM EMBEDMENT=50MM.
4. AT ALL BLOCKWORK/CONCRETE INTERFACES PROVIDE ABBEY SLOTS @ 225MM CRS VERTICALLY.
5. PROVIDE CONTROL JOINTS IN MASONRY AT 6M MAX CRS. LOCATION OF JOINTS TO BE AGREED WITH ARCHITECT AND ENGINEER.
6. PRESTRESSED CONCRETE COMPOSITE LINTELS TO BE LAID ROUGH SIDE UP WITH 150mm BEARING FOR SPANS LESS THAN 1.5m AND WITH 200mm BEARING FOR SPANS UP TO 2.0m. PROPPING TO REMAIN IN PLACE UNTIL MORTAR HAS CURED. PROPS TO BE @ 1.2m CRS. MAX.
7. ALLOW FOR BRICKFORCE REINFORCEMENT, IN ALL STRUCTURAL WALLS AND FOR 2ND COURSES ABOVE AND BELOW OPES
8. ALL CHASE LOCATIONS TO BE AGREED WITH STRUCTURAL ENGINEER ONSITE

NOTES

FOUNDATION TYPE AND FOUNDATION DIMENSIONS ARE SUBJECT TO ENGINEERS REQUIREMENTS FOLLOWING DETAILED SITE INVESTIGATIONS

FORMATION LEVEL TO BE INSPECTED BY ENGINEER PRIOR TO POURING OF CONCRETE. CONTRACTOR TO GIVE ENGINEER 5 DAYS NOTICE FOR INSPECTION PRIOR TO INVESTIGATIONS POUR

GENERAL NOTES:

1. FIGURED DIMENSIONS ONLY TO BE TAKEN FROM THIS DRAWING.
2. ALL DRAWINGS TO BE CHECKED BY THE CONTRACTOR ON SITE.
3. ENGINEER/EMPLOYERS REPRESENTATIVE, AS APPROPRIATE, TO BE INFORMED BY THE CONTRACTOR OF ANY DISCREPANCIES BEFORE ANY WORK COMMENCES
4. THE CONTRACTOR SHALL UNDERTAKE A THOROUGH CHECK FOR THE ACTUAL LOCATION OF ALL SERVICES/UTILITIES, ABOVE AND BELOW GROUND, BEFORE ANY WORK COMMENCES
5. ALL LEVELS SHOWN RELATE TO ORDNANCE SURVEY DATUM AT MALIN HEAD.
6. REFER TO ARCHITECT'S DRAWINGS FOR ALL SETTING OUT DIMENSIONS, AND FOR WALL POSITIONS.
7. REFER TO ARCHITECT'S AND M&E ENGINEERS DRAWINGS FOR ALL RADON SUMP, UNDERGROUND SERVICES & OPENING IN FLOOR SLAB FOR SERVICES.

SUBGRADE NOTE:

SUBGRADE MATERIAL SHALL BE IN COMPLIANCE WITH I.S EN 13242 AND SR 21:2014 + A1: 2016 ANNEX E. SUBGRADE MATERIAL TO BE PROCURED FROM PRODUCER WITH THIRD PARTY CERTIFICATION IN ACCORDANCE WITH ASSESSMENT AND VERIFICATION OF CONSTANCY OF PERFORMANCE (AVCP), SYSTEM 2+.

PYRITE TESTING TO BE CARRIED OUT FROM SITE SAMPLES IN ACCORDANCE WITH I.S. 398-1:2017.

CONCRETE:

1. CONCRETE TO BE GRADE C30/37 (CHARACTERISTIC STRENGTH - 37N/mm²) MAXIMUM SIZE OF AGGREGATE - 20mm IN ACCORDANCE WITH IS EN 206
2. ALL CONCRETE THROUGHOUT THE WORKS SHALL HAVE MIN. CEMENT CONTENT OF 320 kg/m³ AND A MAX. WATER / CEMENT RATIO OF 0.55, AND MEET REQUIREMENTS OF IS EN 206
3. ALL CONCRETE SHALL BE DESIGNED FOR EXPOSURE CLASSES XC2, XC4, XD1, XF3 AND XA1 IN ACCORDANCE WITH IS EN 206 PART 1
4. CONSTRUCTION JOINTS (LOCATIONS TO BE AGREED WITH THE ENGINEER) AFTER SETTING AND PRIOR TO HARDENING OF CONCRETE, THE SURFACE OF THE JOINT SHALL BE SPRAYED WITH WATER AND BRUSHED TO REMOVE THE OUTER SKIN EXPOSING BUT NOT DISTURBING THE LARGER AGGREGATE
5. MINIMUM COVER TO REINFORCEMENT TO BE 45mm UNLESS OTHERWISE NOTED.
6. MINIMUM LAPS TO REINFORCEMENT MESH=400. B10 - 500; B12 - 600; B16 - 800; B20 - 1000; B25 - 1250; B32 - 1600
7. NOTATION: T, TOP; B, BOTTOM; N.F., NEAR FACE; F.F., FAR FACE; A.B.R., ALTERNATE BARS REVERSED; sq., STAGGERED; E.F., EACH FACE; O.F., OUTER FACE; I.F., INNER FACE.

DRAFT

LEGEND

DRAWING TO BE READ IN CONJUNCTION WITH CIVIL/STRUCTURAL SPECIFICATION

NOTE:

ALL INSULATION, DPM, DPC, FLASHING, RADON BARRIER, RADON SUMPS, WASTE AND INLET PIPES TO ARCHITECT'S DETAILS.

NOTE: LINTELS TO BE PROVIDED OVER ALL SERVICES I.E. ES.B, TV & PHONE BOXES IN EXTERNAL WALLS.

D.01	Issued for Discussion	AP	01.07.22
rev.	modifications	by	chkd date

Layout Ref.:
file: P:\Jobs\6674 Mount St Hsing\700 Drawings\703 Planning\01 WIP\6674-JOD-XX-ZZ-DR-S-700-5000 GA Foundations HT - RAft.dwg

client
Comhairle Contae Mhaigh Eo
Mayo County Council

project
PROPOSED DEVELOPMENT AT
MOUNT STREET, CLAREMORRIS,
CO. MAYO

stage
DRAFT

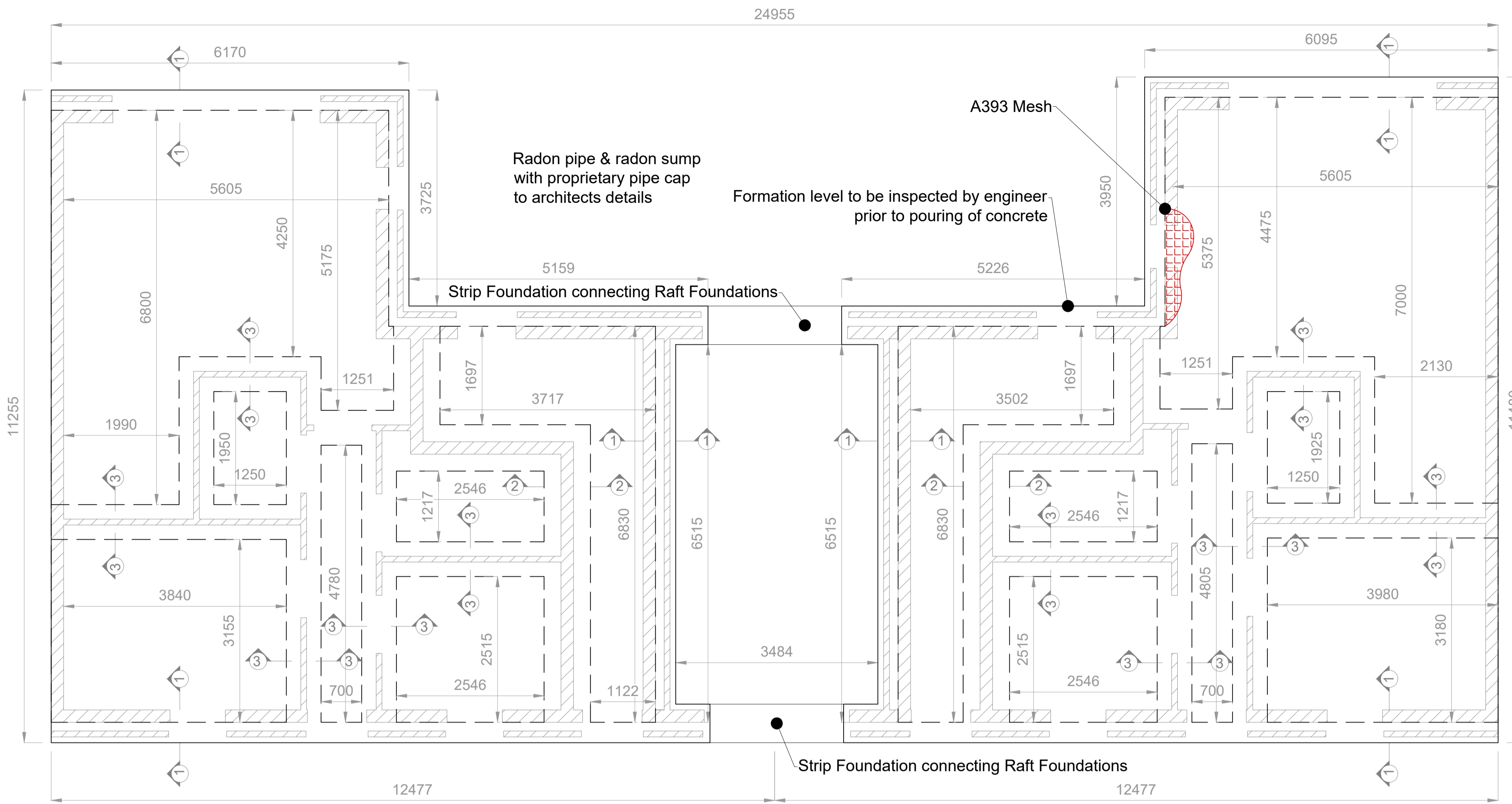
title
GENERAL ARRANGEMENT FOUNDATIONS
HOUSE SITE A - RAFT

scale
AS SHOWN @ A1

surveyed	drawn	checked	date
OSI	AP		July 2022

© COPYRIGHT OF
JENNINGS O'DONOVAN & PARTNERS
CONSULTING ENGINEERS,
FINISKLIN,
SLIGO,
IRELAND.
TEL. +353 (0)71 916 1416
FAX. +353 (0)71 916 1080
Email: info@jodireland.com

drawing no.	revision
6674-JOD-XX-ZZ-DR-S-700-5000	D.01



Foundation Plan - House Site B
Scale 1:50 @ A1

NOTES cont'd

TEMPORARY WORKS AND TEMPORARY WORKS DESIGNER:

ALL WORKS NOT FORMING PART OF THE PERMANENT WORKS BUT WHICH ARE REQUIRED TO ENABLE OR FACILITATE CONSTRUCTION ARE TEMPORARY WORKS.

TEMPORARY WORKS INCLUDE SUCH WORKS AS TRENCH SHORING, TEMPORARY PROPPING, SCAFFOLDING, GANGWAYS, WORKING PLATFORMS, ACCESS STAIRS, LADDERS ETC.

TEMPORARY WORKS ALSO INCLUDE MEASURE TO BE TAKEN TO ENSURE THE STABILITY OF THE ALL EXISTING STRUCTURES DURING DEMOLITION, OR WHILE THE PERMANENT WORKS ARE BEING PUT IN PLACE.

THE PERMANENT WORKS DESIGNER IS NOT RESPONSIBLE FOR THE DESIGN OF THE TEMPORARY WORKS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPOINT A COMPETENT DESIGNER TO DESIGN THE TEMPORARY WORKS. ANY SUCH DESIGNER IS REQUIRED TO COMPLY WITH THE CURRENT SAFETY HEALTH AND WELFARE AT WORK REGULATIONS IN RESPECT OF THE ROLE OF 'DESIGNER'

MASONRY:

1. THE CHARACTERISTIC COMPRESSIVE STRENGTH OF THE BLOCKS SHALL BE MIN 13N/mm² U.N.O. ON DRAWINGS. BLOCKS SHALL BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACES.
2. FOR MASONRY CONSTRUCTION DURING FROST WEATHER REFER TO SPECIFICATION AND PROVISIONS OF BS 5628.
3. FOR CAVITIES, 150MM WIDE, PROVIDE S/S DOUBLE TRIANGLE TYPE WALL TIES, TO IS EN 845 2003 + A1: 2008 @ 450C/C VERTICALLY AND @ 450C/C HORIZONTALLY. PROVIDE TIES @ 225C/C (MAX) VERTICALLY TO JAMS OF ALL OPES. MINIMUM EMBEDMENT=50MM.
4. AT ALL BLOCKWORK/CONCRETE INTERFACES PROVIDE ABBEY SLOTS @ 225MM CRS VERTICALLY.
5. PROVIDE CONTROL JOINTS IN MASONRY AT 6M MAX CRS. LOCATION OF JOINTS TO BE AGREED WITH ARCHITECT AND ENGINEER.
6. PRESTRESSED CONCRETE COMPOSITE LINTELS TO BE LAID ROUGH SIDE UP WITH 150mm BEARING FOR SPANS LESS THAN 1.5m AND WITH 200mm BEARING FOR SPANS UP TO 2.0m. PROPPING TO REMAIN IN PLACE UNTIL MORTAR HAS CURED. PROPS TO BE @ 1.2m CRS. MAX.
7. ALLOW FOR BRICKFORCE REINFORCEMENT, IN ALL STRUCTURAL WALLS AND FOR 2ND COURSES ABOVE AND BELOW OPES.
8. ALL CHASE LOCATIONS TO BE AGREED WITH STRUCTURAL ENGINEER ON SITE.

NOTES

FOUNDATION TYPE AND FOUNDATION DIMENSIONS ARE SUBJECT TO ENGINEERS REQUIREMENTS FOLLOWING DETAILED SITE INVESTIGATIONS

FORMATION LEVEL TO BE INSPECTED BY ENGINEER PRIOR TO POURING OF CONCRETE. CONTRACTOR TO GIVE ENGINEER 5 DAYS NOTICE FOR INSPECTION PRIOR TO INVESTIGATIONS POUR

GENERAL NOTES:

1. FIGURED DIMENSIONS ONLY TO BE TAKEN FROM THIS DRAWING.
2. ALL DRAWINGS TO BE CHECKED BY THE CONTRACTOR ON SITE.
3. ENGINEER/EMPLOYERS REPRESENTATIVE, AS APPROPRIATE, TO BE INFORMED BY THE CONTRACTOR OF ANY DISCREPANCIES BEFORE ANY WORK COMMENCES.
4. THE CONTRACTOR SHALL UNDERTAKE A THOROUGH CHECK FOR THE ACTUAL LOCATION OF ALL SERVICES UTILITIES, ABOVE AND BELOW GROUND, BEFORE ANY WORK COMMENCES.
5. ALL LEVELS SHOWN RELATE TO ORDNANCE SURVEY DATUM AT MALIN HEAD.
6. REFER TO ARCHITECT'S DRAWINGS FOR ALL SETTING OUT DIMENSIONS, AND FOR WALL POSITIONS.
7. REFER TO ARCHITECT'S AND M&E ENGINEERS' DRAWINGS FOR ALL RADON SUMP, UNDERGROUND SERVICES & OPENING IN FLOOR SLAB FOR SERVICES.

SUBGRADE NOTE:

SUBGRADE MATERIAL SHALL BE IN COMPLIANCE WITH I.S. 13242 AND SR 21:2014 + A1: 2016 ANNEX E. SUBGRADE MATERIAL TO BE PROCURED FROM PRODUCER WITH THIRD PARTY CERTIFICATION IN ACCORDANCE WITH ASSESSMENT AND VERIFICATION OF CONSTANCY OF PERFORMANCE (AVCP), SYSTEM 2+.

PYRITE TESTING TO BE CARRIED OUT FROM SITE SAMPLES IN ACCORDANCE WITH I.S. 398-1:2017.

CONCRETE:

1. CONCRETE TO BE GRADE C30/37 (CHARACTERISTIC STRENGTH - 37N/mm²) MAXIMUM SIZE OF AGGREGATE - 20mm IN ACCORDANCE WITH IS EN 206
2. ALL CONCRETE THROUGHOUT THE WORKS SHALL HAVE MIN. CEMENT CONTENT OF 320 kg/m³ AND A MAX. WATER / CEMENT RATIO OF 0.55, AND MEET REQUIREMENTS OF IS EN 206
3. ALL CONCRETE SHALL BE DESIGNED FOR EXPOSURE CLASSES XC2, XC4, XD1, XF3 AND XA1 IN ACCORDANCE WITH IS EN 206 PART 1
4. CONSTRUCTION JOINTS (LOCATIONS TO BE AGREED WITH THE ENGINEER) AFTER SETTING AND PRIOR TO HARDENING OF CONCRETE, THE SURFACE OF THE JOINT SHALL BE SPRAYED WITH WATER AND BRUSHED TO REMOVE THE OUTER SKIN EXPOSING BUT NOT DISTURBING THE LARGER AGGREGATE
5. MINIMUM COVER TO REINFORCEMENT TO BE 45mm UNLESS OTHERWISE NOTED.
6. MINIMUM LAPS TO REINFORCEMENT MESH=400. B10 - 500; B12 - 600; B16 - 800; B20 - 1000; B25 - 1250; B32 - 1600
7. NOTATION: T: TOP B: BOTTOM N.F.: NEAR FACE F.F.: FAR FACE A.B.R.: ALTERNATE BARS REVERSED sq. STAGGERED E.F.: EACH FACE O.F.: OUTER FACE I.F.: INNER FACE.

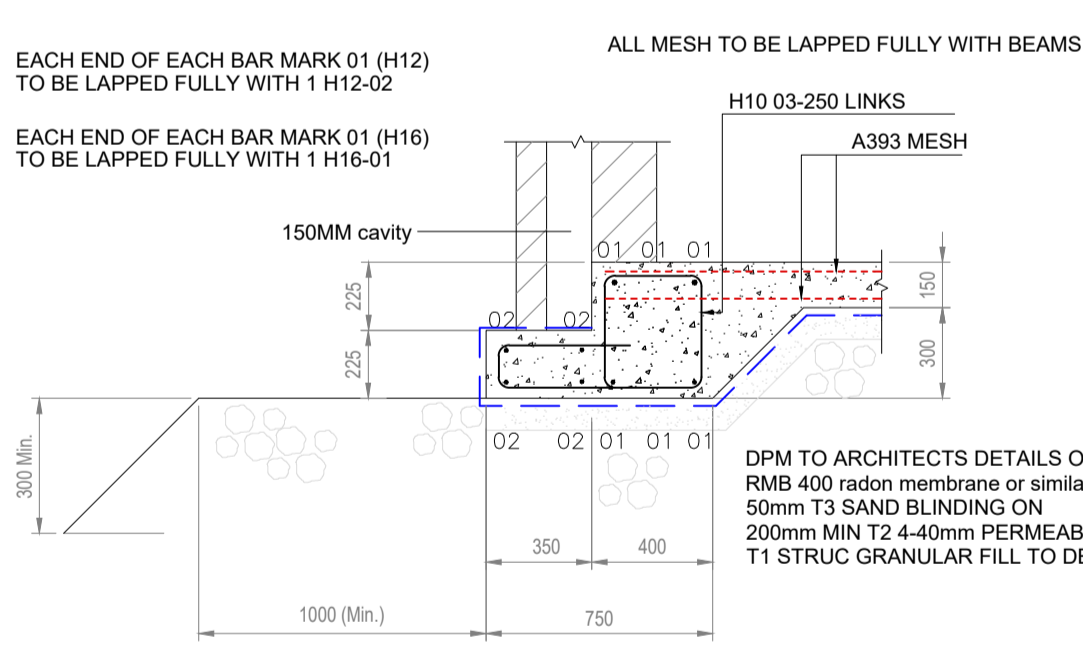
DRAFT

LEGEND

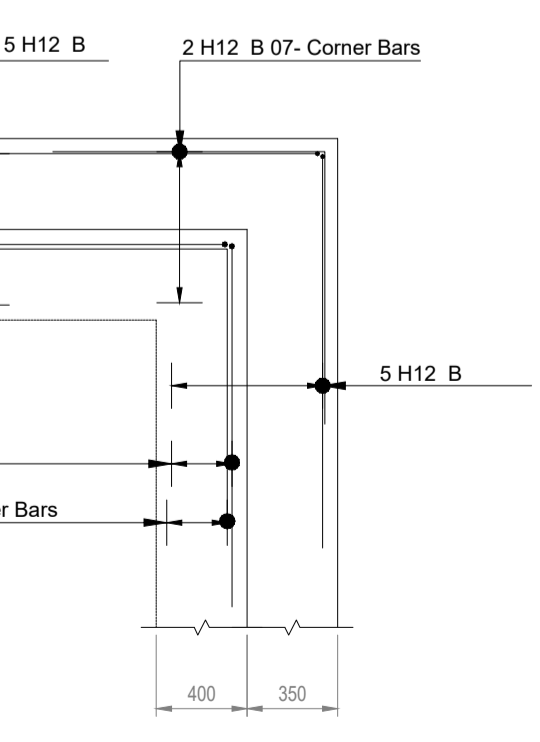
DRAWING TO BE READ IN CONJUNCTION WITH CIVIL/STRUCTURAL SPECIFICATION

NOTE:
ALL INSULATION, DPM, DPC, FLASHING, RADON BARRIER, RADON SUMPS, WASTE AND INLET PIPES TO ARCHITECT'S DETAILS.

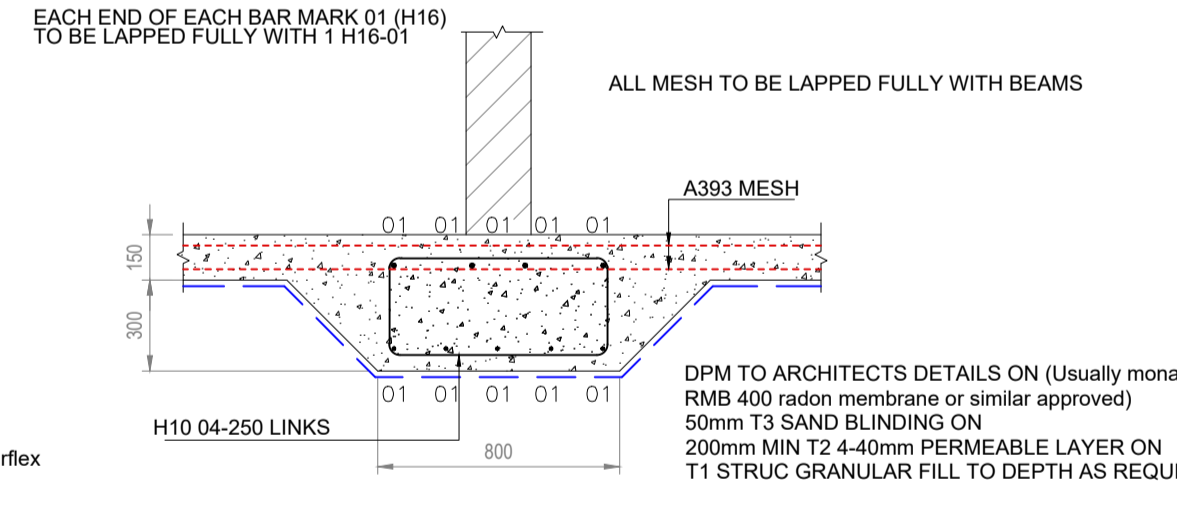
NOTE: LINTELS TO BE PROVIDED OVER ALL SERVICES I.E. EB, TV & PHONE BOXES IN EXTERNAL WALLS.



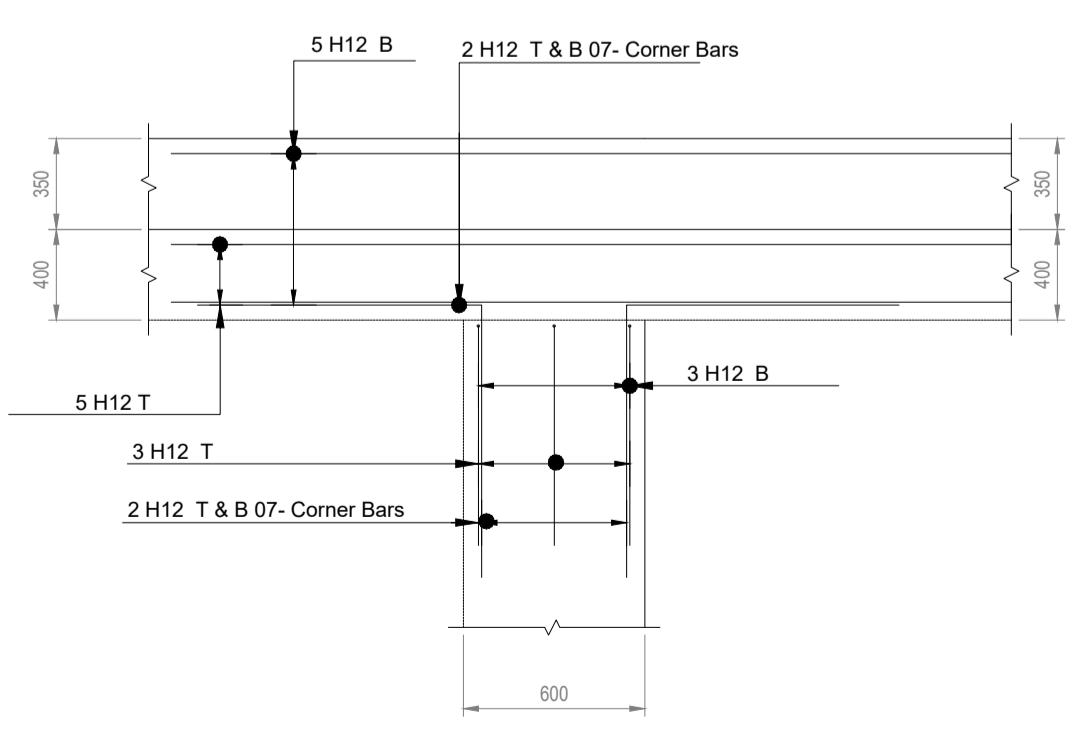
A1 Section 1-1
Scale 1:25 @ A1



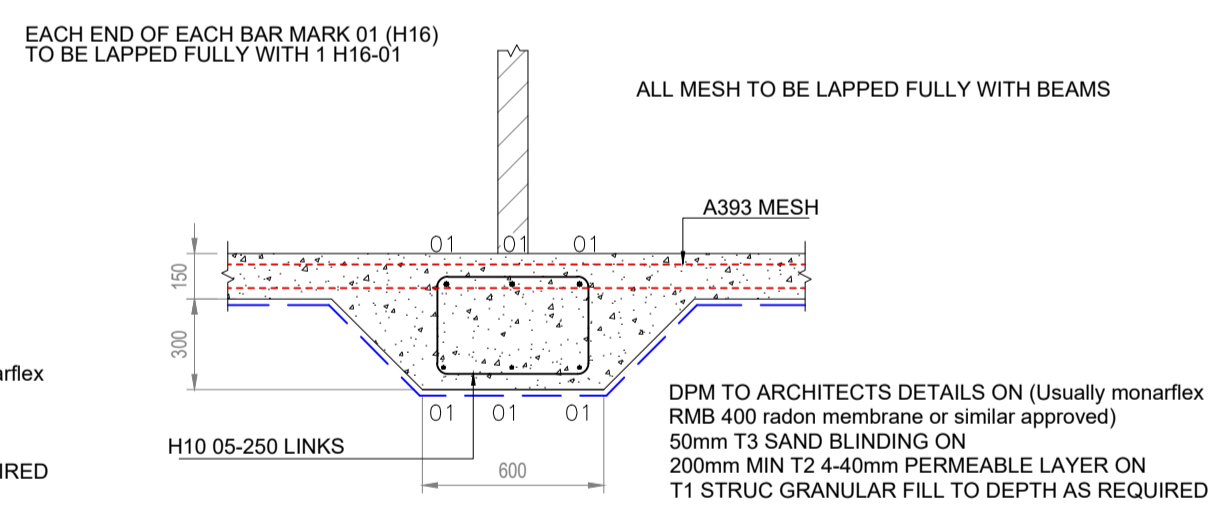
A4 Section
Scale 1:25 @ A1
TYPICAL CORNER DETAIL



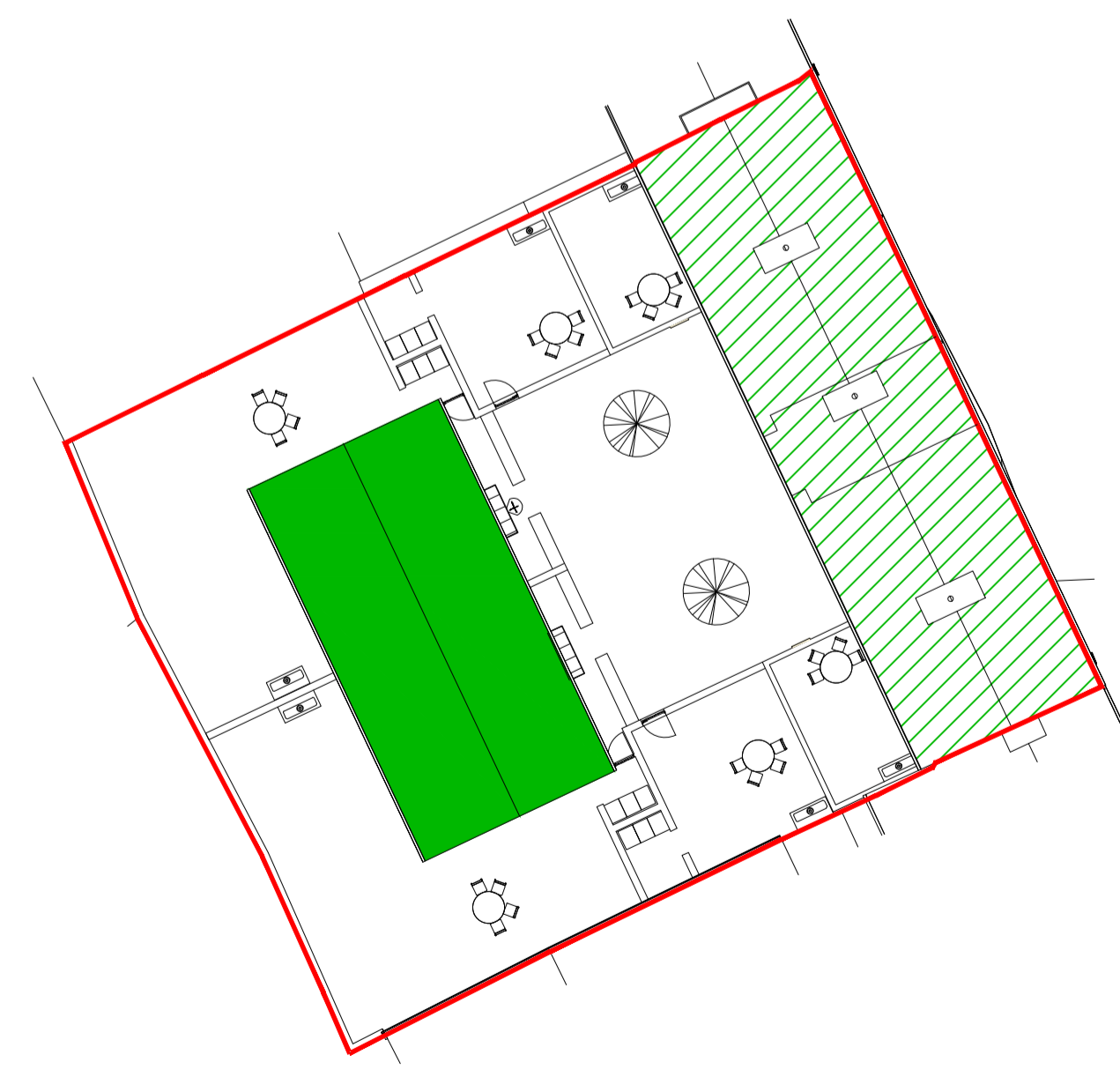
A2 Section 2-2
Scale 1:25 @ A1



A5 Section
Scale 1:25 @ A1
TYPICAL INTERNAL CAGE CONNECTION DETAIL



A3 Section 3-3
Scale 1:25 @ A1



House Site A
House Site B

KEY PLAN Scale 1:250

D.01	Issued for Discussion	AP	01.07.22
rev.	modifications	by	chkd date

Layout Ref.:
file P:\Jobs\6674 Mount St Hsing\700 Drawings\703 Planning\01 WIP\6674-JOD-XX-ZZ-DR-S-700-5000 GA Foundations HT - Raft.dwg

client **Comhairle Contae Mhaigh Eo Mayo County Council**

project **PROPOSED DEVELOPMENT AT MOUNT STREET, CLAREMORRIS, CO. MAYO**

stage **DRAFT**

title **GENERAL ARRANGEMENT FOUNDATIONS HOUSE SITE B - RAFT**

scale **AS SHOWN @ A1**

surveyed	drawn	checked	date
OSI	AP		July 2022

© COPYRIGHT OF **JENNINGS O'DONOVAN & PARTNERS CONSULTING ENGINEERS, FINISKILIN, SLIGO, IRELAND.**
TEL. +353 (0)71 916 1416
FAX. +353 (0)71 916 1080
Email: info@jodireland.com

drawing no.	revision
6674-JOD-XX-ZZ-DR-S-700-5000	D.01

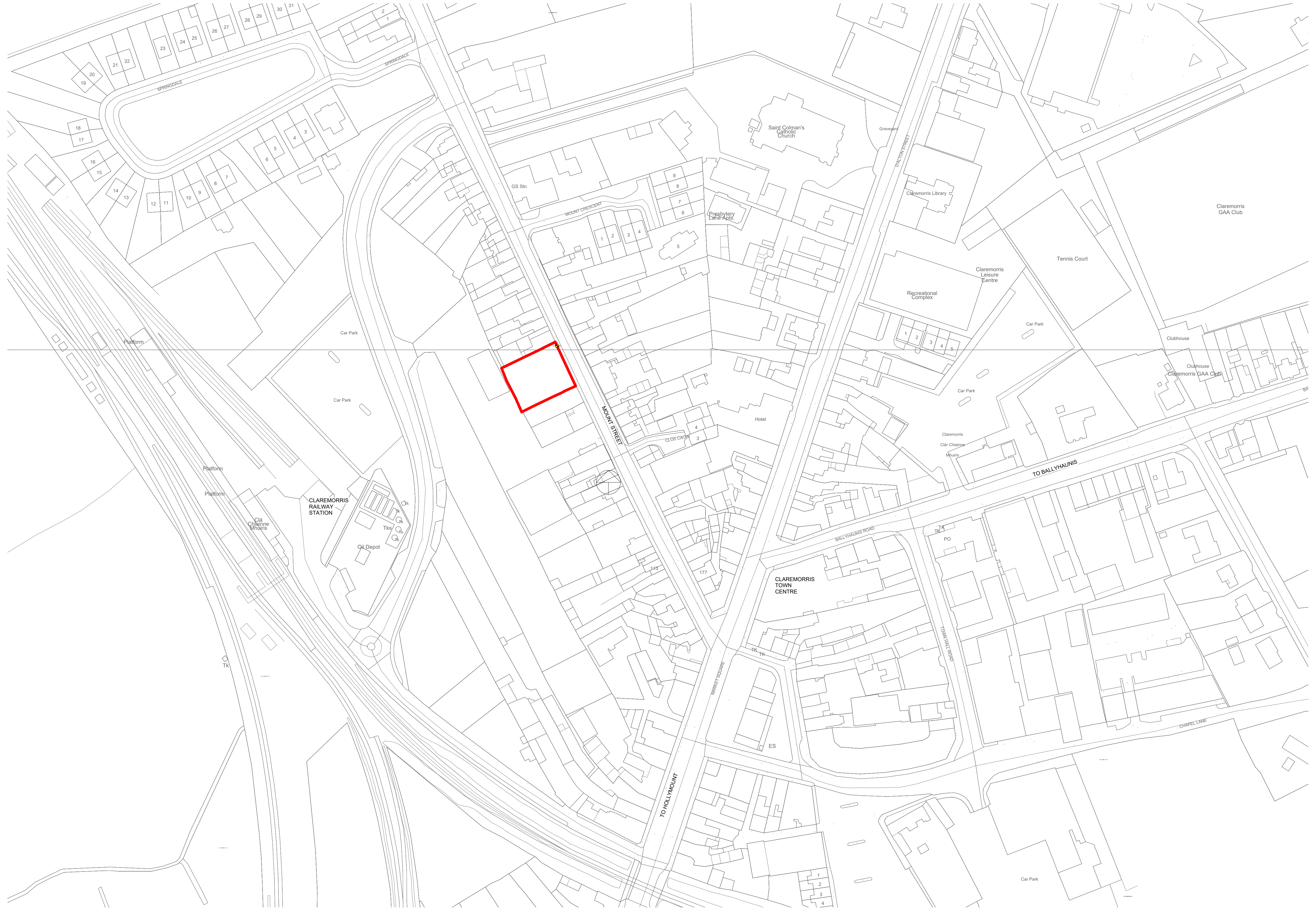
© COPYRIGHT - This drawing is protected by copyright and is the property of Mayo County Council. It may not be used, reproduced or disclosed to anyone without the prior written approval of Mayo County Council.

Do not scale this drawing. Use written dimensions only

- Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions.
- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings.
- All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.

Includes Ordnance Survey Ireland data reproduced under OSI licence number : NMA 2019 / MAYO COUNTY COUNCIL

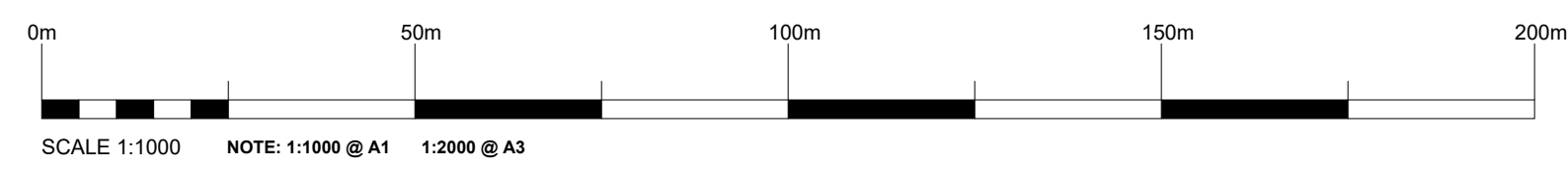
Unauthorised reproduction infringes Ordnance Survey Ireland and Government of Ireland copyright Ordnance Survey Ireland.



LEGEND

	SITE BOUNDARY OUTLINED IN RED. AREA APPROX 793M2 (0.0793 HA)
	ITM Site Co-Ordinates = 534000,775100 Total Number of Units = 6

(ST-1) SITE LOCATION MAP
SCALE: 1: 1000



Purpose of Issue: **SINGLE STAGE SUBMISSION**

STATUS KEY		Rev No.	Date	Comment
SHARED / FOR INFORMATION				
S0	WORK IN PROGRESS			
S1	COORDINATION			
S2	INFORMATION			
S3	REVIEW / COMMENT			
S4	CONSENT APPROVAL			
S5	COSTING			
D1	TENDER			
D2	CONTRACTOR DESIGN			
PUBLISHED				
A1	IFB / FSC / DAC			
A2	CONSTRUCTION			
AB	AS-BUILT			



ARCHITECTS DEPARTMENT
MAYO COUNTY COUNCIL



Project No: A629	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type ST-1	Status: S2
Drawing Title: ST-1 SITE LOCATION MAP	Drawing No. 100	Revision: /	First Issue: 03/08/2022
Drawn By: DC	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: As indicated	
Checked By: PP	A629 - MCC - ST-1 - XX - A - 100 - S2		



(A)-UNIT 01 (2 BED 3 PERSON) 1 STOREY APT-GROSS AREA					
Number	Level	Name	Area	Comments	
UNIT 01	00 GFL	UNIT 01 (2B 3P)	69.39 m ²	MIN 63M2 FOR 1 STOREY 2B 3P APT PLUS MAX 10% (6.3M2) 69.3M2	
TOTAL FLOOR AREA			69.39 m ²		

(A)-UNIT 04 (2 BED 3 PERSON) 1 STOREY APT-GROSS AREA					
Number	Level	Name	Area	Comments	
UNIT 04	00 GFL	UNIT 04 (2B 3P)	69.22 m ²	MIN 63M2 FOR 1 STOREY 2B 3P APT PLUS MAX 10% (6.3M2) 69.3M2	
TOTAL FLOOR AREA			69.22 m ²		

2 BED 3 PERSON UNIT 1 STOREY APT.
2 NO TOTAL : UNITS 01 & 04

2 BED 3P 1S UNIT
SCALE: 1:100

(A)-UNIT 02 (2 BED 4 PERSON) 2 STOREY-OWN DOOR-APARTMENT - GROSS AREA					
Number	Level	Name	Area	DEPT STANDARD COMMENTS FOR TOTAL FLOOR AREA	
UNIT 02	00 GFL	UNIT 02 (2B 4P) ENTRANCE	7.45 m ²	OWN DOOR- STREET ENTRANCE LEVEL- INTERNAL DWELLING PART M COMPLIANT STAIRWAY ACCESSED FROM HERE	
UNIT 02	01 FFL	UNIT 02-(2B 4P APT)	77.02 m ²	MIN 80M2 FOR 2 STOREY 2B 4P	
TOTAL FLOOR AREA			84.73 m ²		

2 BED 4 PERSON UNIT 2 STOREY APT.
2 NO TOTAL : UNITS 02 & 03

2 BED 4P 2S UNIT
SCALE: 1:100

(A)-UNIT 06 (1 BED 2 PERSON) 1 STOREY APT- GROSS AREA					
Number	Level	Name	Area	Comments	
UNIT 06	00 GFL	UNIT 06 (1B 2P)	49.45 m ²	SINGLE STOREY 1BED 2P APT -MIN 45M2 PLUS 10% (4.5M2)-49.5M2.	
TOTAL FLOOR AREA			49.45 m ²		

(A)-UNIT 05 (1 BED 2 PERSON) 1 STOREY APT GROSS AREA					
Number	Level	Name	Area	Comments	
UNIT 05	00 GFL	UNIT 05 (1B 2P)	49.45 m ²	SINGLE STOREY 1 BED 2P APT -MIN 45M2 PLUS 10% (4.5M2) 49.5M2	
TOTAL FLOOR AREA			49.45 m ²		

1 BED 2 PERSON SINGLE STOREY SEMI-DETACHED UNIT
SUITABLE FOR SHELTERED HOUSING .
2 NO TOTAL : UNITS 05 & 06

1 BED 2P 1S UNIT
SCALE: 1:100

© COPYRIGHT - This drawing is protected by copyright and is the property of Mayo County Council. It may not be used, reproduced or disclosed to anyone without the prior written approval of Mayo County Council.

Do not scale this drawing. Use written dimensions only

- Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions.
- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings.
- All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.

PROPOSED BOUNDARY TREATMENT & SURFACE FINISH LEGEND

- NEW TREES**
PLANTING OF DECIDUOUS NATIVE TREES VARIOUS SPECIES AND SIZES (TO LATER CONFIRMATION BY ARCHITECTS)
- NEW SHRUBS**
PLANTING OF NEW DECORATIVE SHRUBS VARIOUS SPECIES AND SIZES (TO LATER CONFIRMATION BY ARCHITECTS)
- S1**
SURFACE FINISH S1: GRASS
GRASS SEED ON 300MM IMPORTED TOPSOIL. ALL GARDENS TO BE ROTAVATED, RAKED, CLEANED, GRADED, ROLLED AND SEEDED.
- S2**
SURFACE FINISH S2: PLANTER
MIN 300MM IMPORTED TOPSOIL SUITABLE FOR PLANTING WITH GEO TEXTILE & BARK MULCH PROTECTION AGAINST WEEDS (TO LATER CONFIRMATION BY ARCHITECTS)
- S3**
SURFACE FINISH S3: DECORATIVE SURFACE
DECORATIVE HARD SURFACE- PAVING/ SURFACE BONDED FINISH ON BASES TO ENGINEERS SPECIFICATION AND DETAILS (TO LATER CONFIRMATION BY ARCHITECTS)
- S4**
SURFACE FINISH S4: FOOTPATHS
IN-SITU CONCRETE FOOTPATH ON BASE LAYERS TO STRUCTURAL ENGINEERS SPECIFICATION AND DETAILS.
- GATE**
PROPOSED TIMBER PEDESTRIAN ACCESS GATE
- BOUNDARY TYPE B7**
PROPOSED 2000MM HIGH BLOCK SCREEN WALL WITH PLASTER FINISH WITH IN-SITU CONCRETE CAPPING ON CONCRETE STRIP FOUNDATION TO ENGINEERS SPECIFICATION AND DETAILS.
- BOUNDARY TYPE B13**
PROPOSED RAISED PLANTER FORMED IN BOARDMARKED IN-SITU CONCRETE CONCRETE STRIP FOUNDATION TO ENGINEERS SPECIFICATION AND DETAILS (TO LATER CONFIRMATION BY ARCHITECTS).

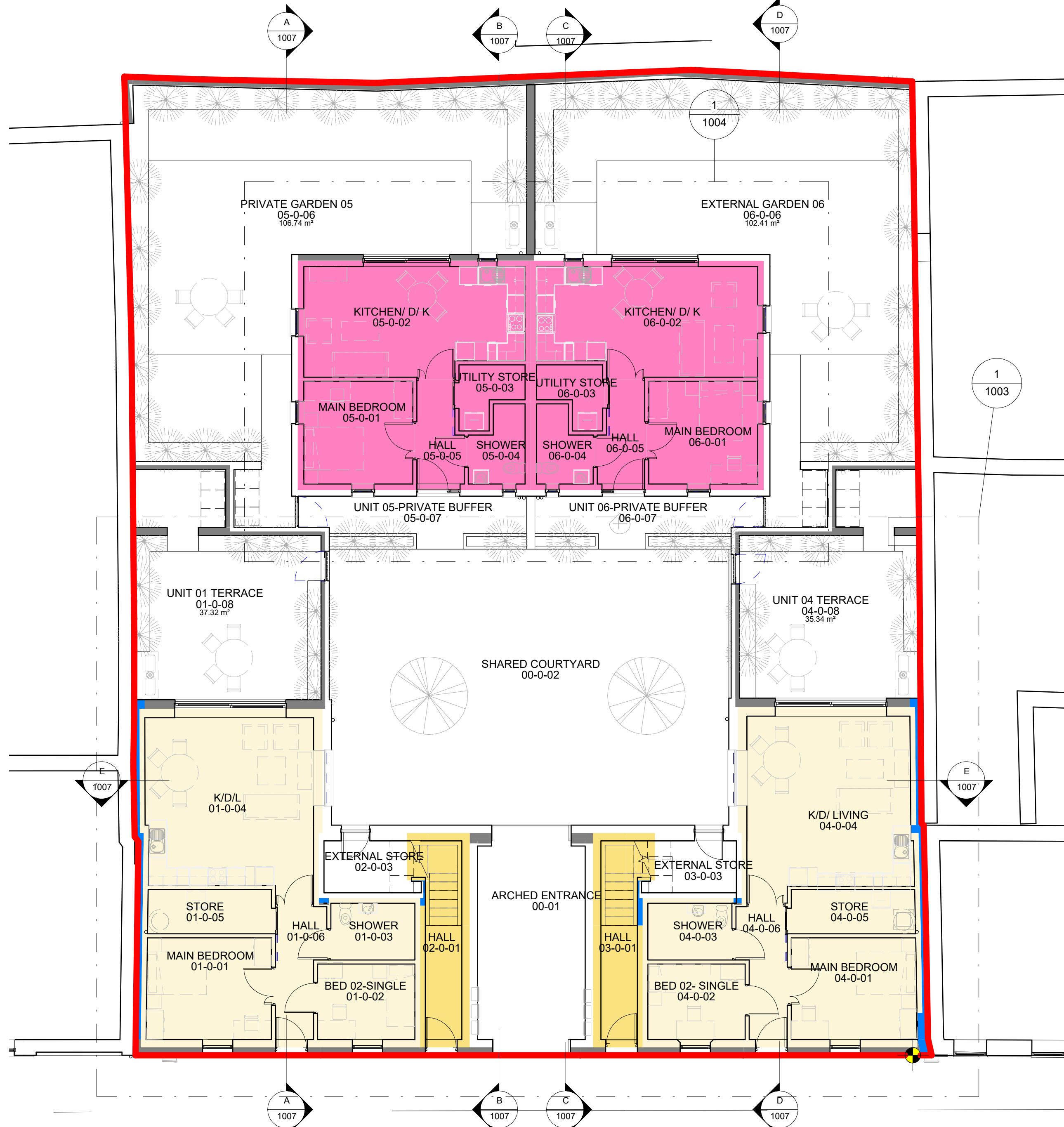
NOTES:

- GENEROUS SHARED EXTERNAL COURTYARD WITH PASSIVE SURVEILLANCE PROVIDED WITH SECURE ACCESS FROM STREET THROUGH ARCHWAY. LOCATION OF ARCHWAY CENTRAL ON FACADE HOWEVER TREATMENT OF STREET FACADE WILL BREAK DOWN DEVELOPMENT INTO A NUMBER OF ELEMENTS- TREATING ARCHWAY SO THAT IT WILL BE TO THE SIDE OF ONE OF THE FACADE ELEMENTS.
- ALL UNITS ARE APARTMENTS AND HAVE PRIVATE EXTERNAL SPACE - MIN 20M2.
- ALL UNITS HAVE SECURE PRIVATE BIN / BIKES ACCESSED FROM GROUND LEVEL.
- PROPOSAL STREETScape HEIGHT 2 STOREY TO MATCH NORTHERN NEIGHBOUR STREET FRONTAGE

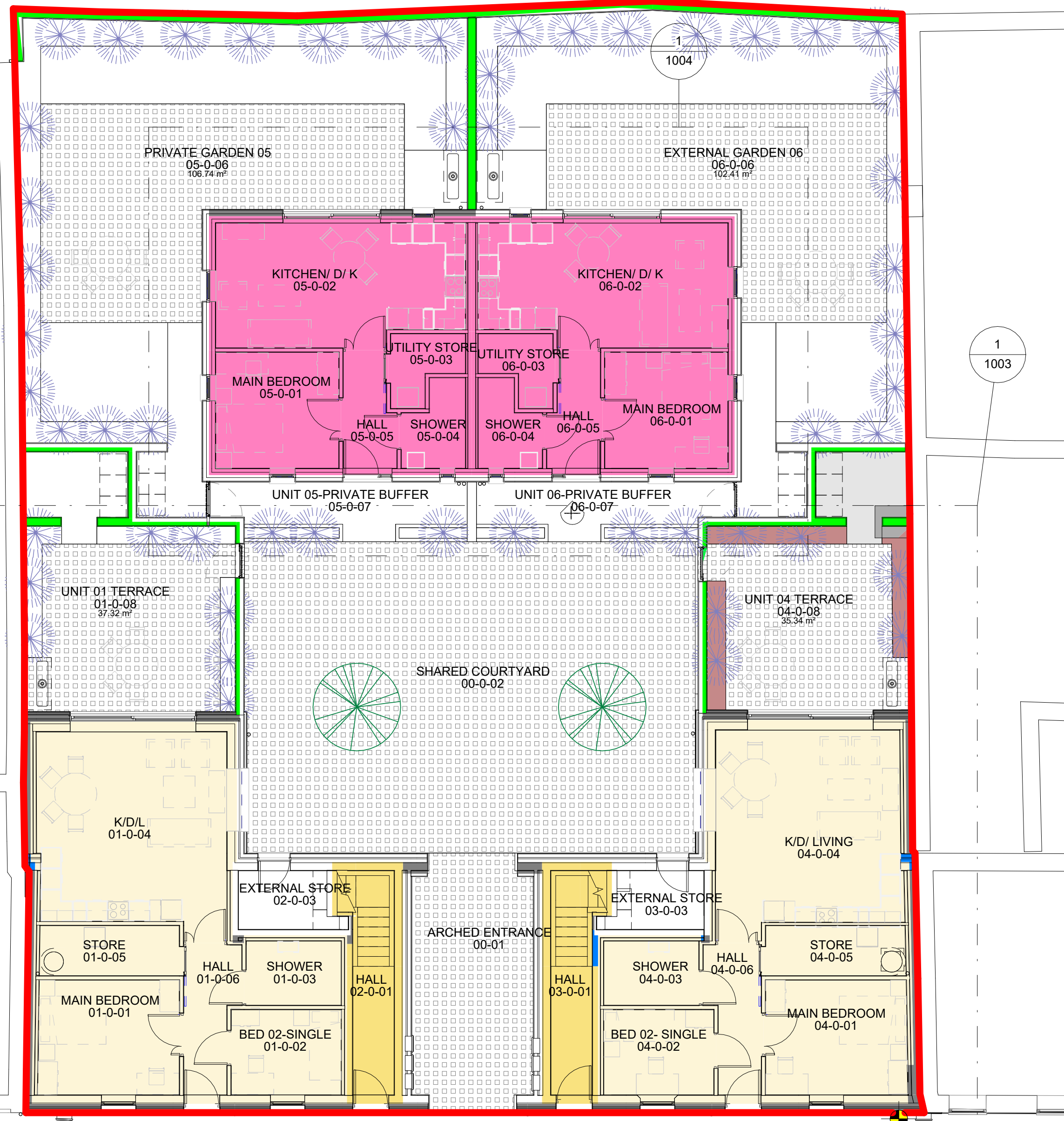
TOTAL OF 6 NO UNITS COMPRISING:
UNITS 01 & 04 : 2 NO 2 BED 3P (SINGLE STOREY APARTMENT)
UNITS 05 & 06 : 2 NO 1 BED 2P (SINGLE STOREY SEMI-D APARTMENT)
UNITS 02 & 03 : 2 NO 2 BED 4P (TWO STOREY APARTMENT)

LEGEND

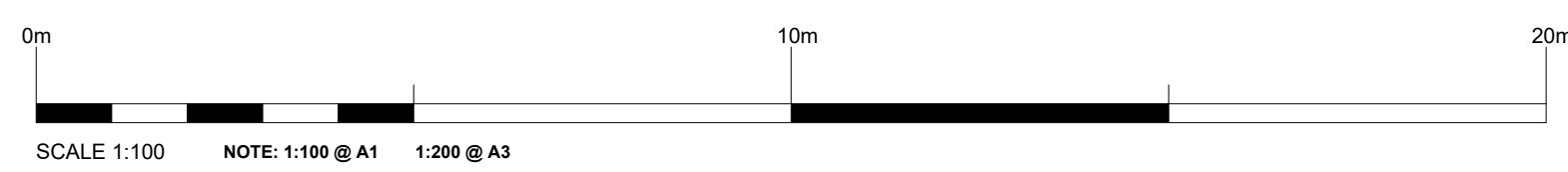
- SITE BOUNDARY OUTLINED IN RED. AREA APPROX 793M2 (0.0793 HA)
- ITEM Site Co-Ordinates = 534000,775100
Total Number of Units = 6
- AREA UNDER APPLICANTS OWNERSHIP OUTLINED IN BLUE
- LOCATION OF SITE NOTICE
- HATCH DENOTES EXISTING BUILDING NOT IN APPLICANTS OWNERSHIP



(ST-1) 00 SITE PLAN-OVERVIEW
SCALE: 1:100



(ST-1) 00 SITE PLAN-BOUNDARY TREATMENTS OVERVIEW
SCALE: 1:100



STATUS KEY			
Rev No.	Date	Comment	
SHARED / FOR INFORMATION			
S0		WORK IN PROGRESS	
S1		COORDINATION	
S2		INFORMATION	
S3		REVIEW / COMMENT	
S4		CONSENT APPROVAL	
D1		COSTING	
D2		TENDER	
D3		CONTRACTOR DESIGN	
PUBLISHED			
A1		PFS / FSD/ DAC	
A2		CONSTRUCTION	
AB		AS-BUILT	



ARCHITECTS DEPARTMENT
MAYO COUNTY COUNCIL

RIAI

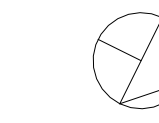
Purpose of Issue: **SINGLE STAGE SUBMISSION**

Project No: A629	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type: ST-1	Status: S2
Drawing Title: ST-1 SITE LAYOUT- OVERVIEW PLANS	Drawing No. 101	Revision: /	First Issue: /
Drawn By: CMG	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: 1:100	Date: 03/08/2022
Checked By: KK	A629 - MCC - ST-1 - XX - A - 101 - S2		



Do not scale this drawing. Use written dimensions only

- Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions.
- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.



(A)-UNIT 01-2 BED 3 PERSON-1 STOREY APT-ROOM SCHEDULE			
ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
01-0-01	MAIN BEDROOM	13.03 m ²	13m2 min double/ AGG PROVISION 20.43M2 (MIN 20M2)
01-0-02	BED 02-SINGLE	7.55 m ²	7.1m2 min SINGLE
01-0-03	SHOWER	4.9 m ²	UNIVERSAL DESIGN
01-0-04	K/D/L	29.54 m ²	K/D/L aggregate -28m2 min
01-0-05	STORE	5.07 m ²	MIN 5M2
01-0-06	HALL	5.92 m ²	1500MM TURNING AREA PROVIDED
01-0-07	HWC	0.56 m ²	
01-0-08	UNIT 01 TERRACE	37.32 m ²	EXTERNAL-MIN 20M2 FOR APARTMENT

(A)-UNIT 01 (2 BED 3 PERSON) 1 STOREY APT-GROSS AREA				
Number	Level	Name	Area	Comments
UNIT 01	00 GFL	UNIT 01 (2B 3P)	69.39 m ²	MIN 63M2 FOR 1 STOREY 2B 3P APT PLUS MAX 10% (6.3M2) 69.3M2
TOTAL FLOOR AREA			69.39 m ²	

(A)-UNIT 04-2 BED 3 PERSON-1 STOREY APT-ROOM SCHEDULE			
ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
04-0-01	MAIN BEDROOM	13.09 m ²	13m2 min MAIN double/ AGG PROVISION 20.58M2 (MIN 20M2)
04-0-02	BED 02-SINGLE	7.55 m ²	7.1m2 min SINGLE
04-0-03	SHOWER	4.9 m ²	5M2 MIN REQUIRED
04-0-04	K/D/LIVING	29.49 m ²	K/D/L aggregate -28m2 min
04-0-05	STORE	5.08 m ²	MIN 5M2
04-0-06	HALL	5.92 m ²	1500MM TURNING AREA PROVIDED
04-0-07	HWC	0.56 m ²	
04-0-08	UNIT 04 TERRACE	35.34 m ²	EXTERNAL-MIN 20M2 FOR APARTMENT

(A)-UNIT 04 (2 BED 3 PERSON) 1 STOREY APT-GROSS AREA				
Number	Level	Name	Area	Comments
UNIT 04	00 GFL	UNIT 04 (2B 3P)	69.22 m ²	MIN 63M2 FOR 1 STOREY 2B 3P APT PLUS MAX 10% (6.3M2) 69.3M2
TOTAL FLOOR AREA			69.22 m ²	

2 BED 3 PERSON UNIT 1 STOREY APT.
2 NO TOTAL - UNITS 01 & 04

2 BED 3P 1S UNIT

SCALE: 1 : 50

2 BED 4 PERSON UNIT 2 STOREY APT.
2 NO TOTAL - UNITS 02 & 03

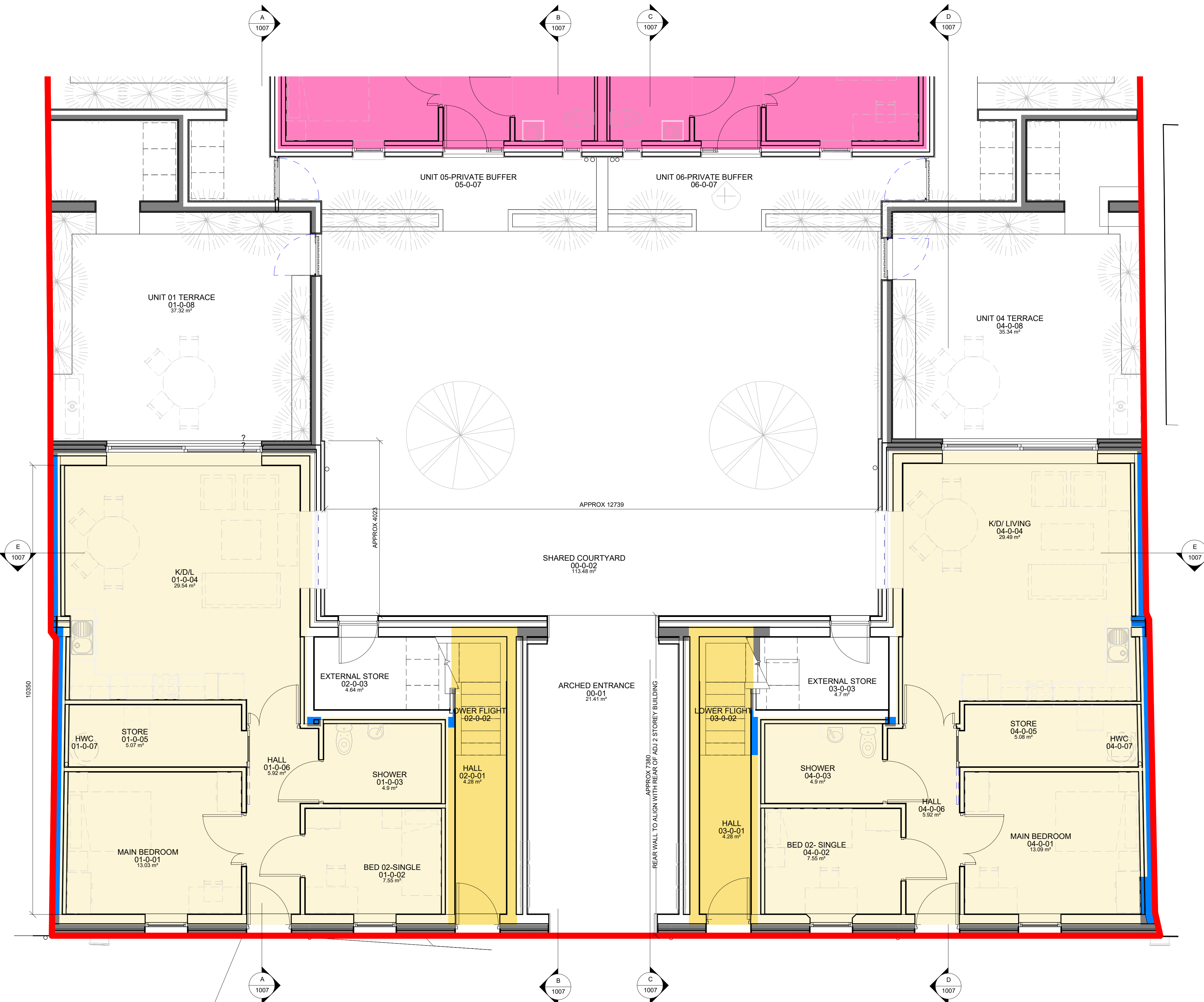
2 BED 4P 2S UNIT

SCALE: 1 : 50

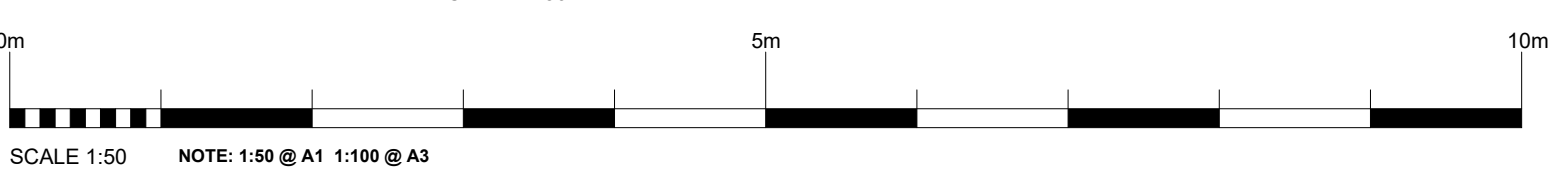
1 BED 2 PERSON SINGLE STOREY UNIT
SUITABLE FOR SHELTERED HOUSING
2 NO TOTAL - UNITS 05 & 06

1 BED 2P 1S UNIT

SCALE: 1 : 50



(ST-1) 00-1 GFL PLAN-FRONT UNITS-DETAIL
SCALE: 1 : 50



STATUS KEY		Rev No.	Date	Comment
SHARED FOR INFORMATION				
S0	WORK IN PROGRESS			
S1	COORDINATION			
S2	INFORMATION			
S3	REVIEW / COMMENT			
S4	CONTRACT APPROVAL			
S5	COSTING			
S6	TENDER			
S7	CONTRACTOR DESIGN			
PUBLISHED				
A1	IFB / FSD / DAC			
A2	CONSTRUCTION			
A3	AS-BUILT			



ARCHITECTS DEPARTMENT
MAYO COUNTY COUNCIL

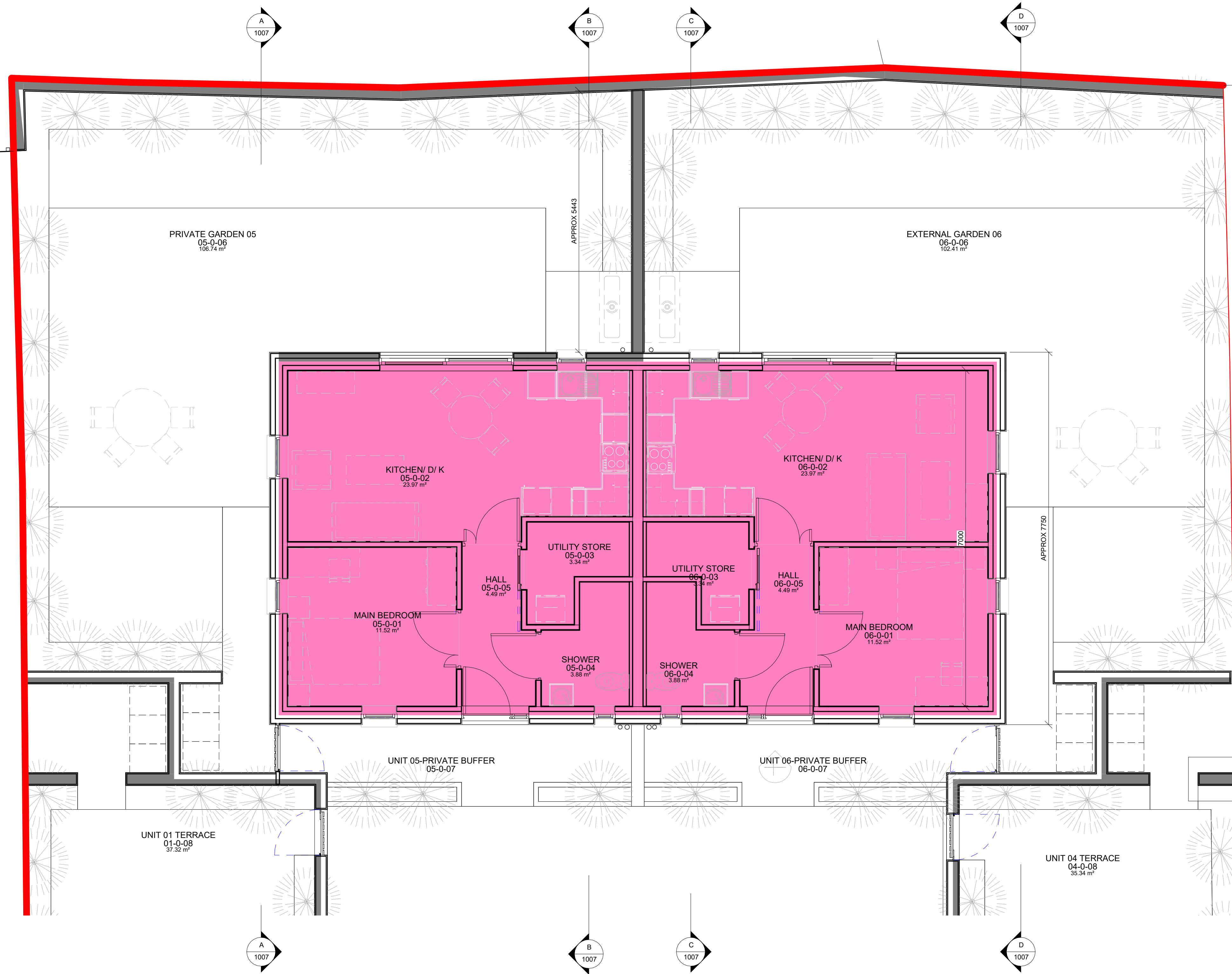
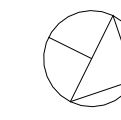


Purpose of Issue:		SINGLE STAGE SUBMISSION	
Project No:	Project Title:	Dwg Type:	Status:
A629	TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	ST-1	S2
Drawing Title:		Drawing No.:	Revision:
ST-1 GROUND FLOOR PLAN-FRONT UNITS		103	/
Drawn By:	Author	No. - Orig - Cat - Lvl - Type - Role - No. - Status	First Issue:
Checked By:	Checker	A629 - MCC - ST-1 - XX - A - 103 - S2	03/08/2022
Scale:		1 : 50	



Do not scale this drawing. Use written dimensions only

- Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions.
- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings. All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.



(A)-UNIT 05-1 BED 2 PERSON 1 STOREY APT-ROOM SCHEDULE			
ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
05-0-01	MAIN BEDROOM	11.52 m ²	11.4m2 min double
05-0-02	KITCHEN/ D/ K	23.97 m ²	MIN 23M2
05-0-03	UTILITY STORE	3.34 m ²	MIN 3M2
05-0-04	SHOWER	3.88 m ²	ACCESSIBLE
05-0-05	HALL	4.49 m ²	1500MM TURNING AREA PROVIDED
05-0-06	PRIVATE GARDEN 05	106.74 m ²	EXTERNAL-MIN 20M2 FOR APARTMENT
05-0-07	UNIT 05-PRIVATE BUFFER	11.74 m ²	EXTERNAL- NOT PART OF FLOOR AREA

(A)-UNIT 06 (1 BED 2 PERSON) 1 STOREY APT- GROSS AREA				
Number	Level	Name	Area	Comments
UNIT 06	00 GFL	UNIT 06 (1B 2P)	49.45 m ²	SINGLE STOREY 1BED 2P APT -MIN 45M2 PLUS 10% (4.5M2)-49.5M2.
TOTAL FLOOR AREA			49.45 m ²	

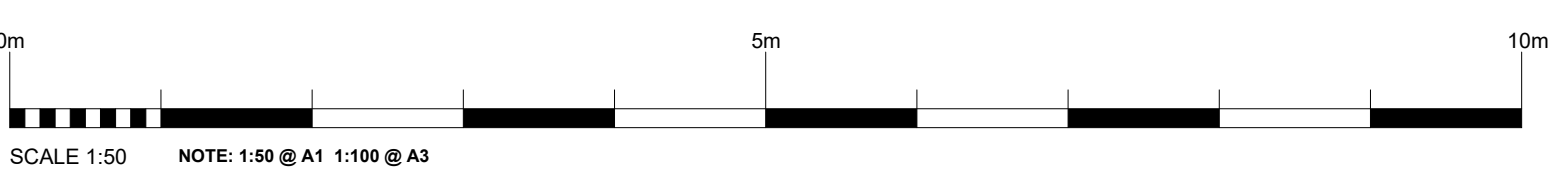
(A)-UNIT 06-1 BED 2 PERSON 1 STOREY APT-ROOM SCHEDULE			
ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
06-0-01	MAIN BEDROOM	11.52 m ²	MIN 11.4M2
06-0-02	KITCHEN/ D/ K	23.97 m ²	MIN 23M2
06-0-03	UTILITY STORE	3.34 m ²	MIN 3M2
06-0-04	SHOWER	3.88 m ²	ACCESSIBLE
06-0-05	HALL	4.49 m ²	1500MM TURNING AREA PROVIDED
06-0-06	EXTERNAL GARDEN 06	102.41 m ²	EXTERNAL- MIN 20M2 FOR APARTMENT
06-0-07	UNIT 06-PRIVATE BUFFER	11.69 m ²	EXTERNAL- NOT PART OF FLOOR AREA

(A)-UNIT 05 (1 BED 2 PERSON) 1 STOREY APT GROSS AREA				
Number	Level	Name	Area	Comments
UNIT 05	00 GFL	UNIT 05 (1B 2P)	49.45 m ²	SINGLE STOREY 1 BED 2P APT -MIN 45M2 PLUS 10% (4.5M2)-49.5M2
TOTAL FLOOR AREA			49.45 m ²	

1 BED 2 PERSON SINGLE STOREY UNIT
SUITABLE FOR SHELTERED HOUSING
2 NO TOTAL : UNITS 05 & 06

1 BED 2P 1S UNIT
SCALE: 1 : 50

(ST-1) 00-2 GFL PLAN-REAR UNITS-DETAIL
SCALE: 1 : 50



STATUS KEY		Rev No.	Date	Comment
SHARED / FOR INFORMATION				
S0	WORK IN PROGRESS			
S1	COORDINATION			
S2	INFORMATION			
S3	REVIEW / COMMENT			
S4	CONTRACT APPROVAL			
S5	COSTING			
S6	TENDER			
S7	CONTRACTOR DESIGN			
PUBLISHED				
A1	PIB / FSD/ DAC			
A2	CONSTRUCTION			
A3	AS-BUILT			



ARCHITECTS DEPARTMENT
MAYO COUNTY COUNCIL

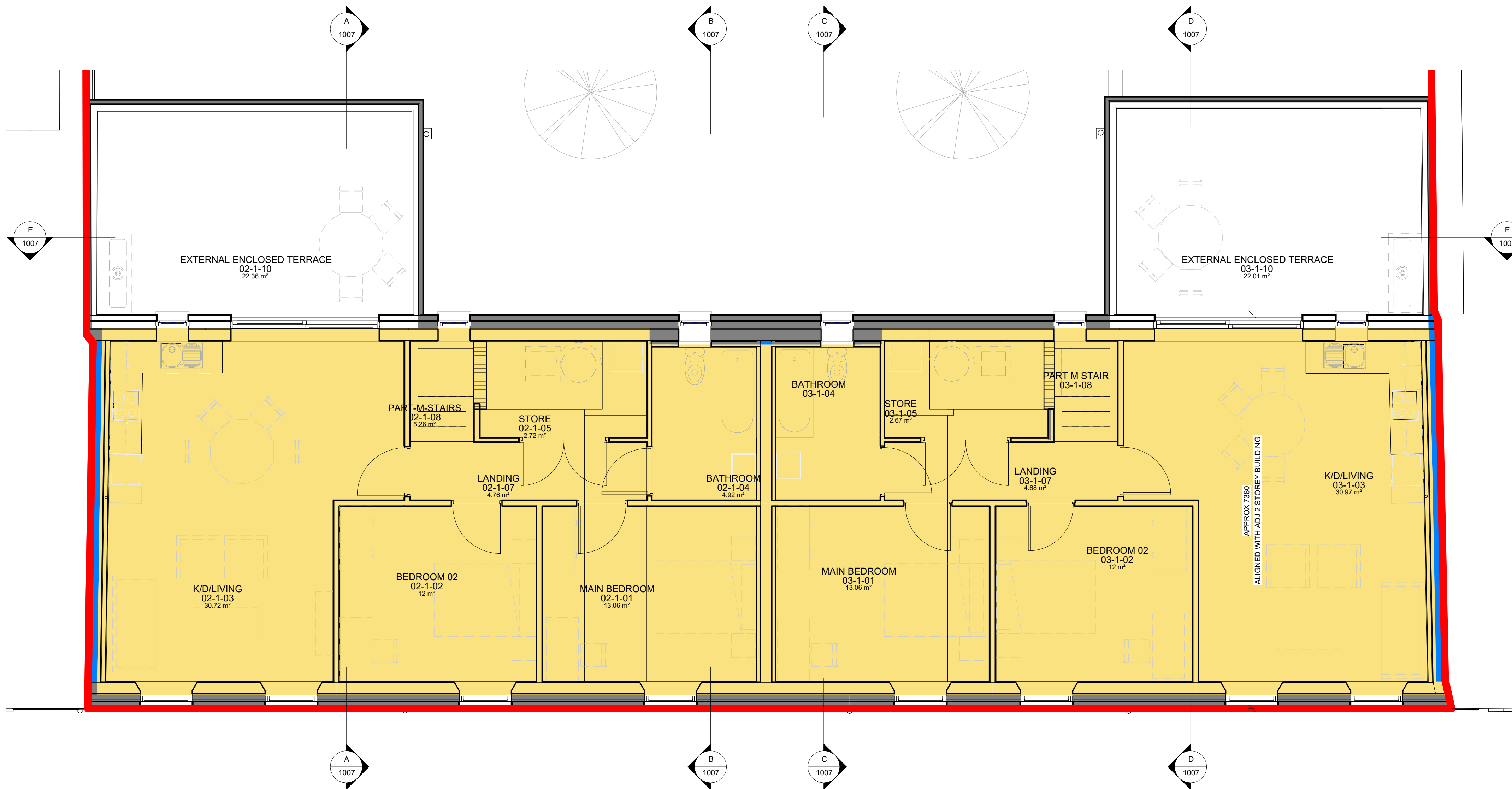
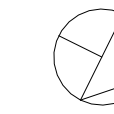


Purpose of Issue:		SINGLE STAGE SUBMISSION	
Project No:	Project Title:	Dwg Type:	Status:
A629	TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	ST-1	S2
Drawing Title:	Drawing No.:	Scale:	Revision:
ST-1 GROUND FLOOR PLAN- REAR UNITS	104	1 : 50	/
Drawn By:	Author	No. - Orig - Cat - Lvl - Type - Role - No. - Status	First Issue:
Checked By:	Checker	A629 - MCC - ST-1 - XX - A - 104 - S2	03/08/2022



Do not scale this drawing. Use written dimensions only

- Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions.
- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings.
- All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.



(ST-1) 01-1 FFL PLAN-FRONT UNITS-DETAIL

SCALE: 1 : 50

(A)-UNIT 02-2 BED 4 PERSON-2 STOREY APARTMENT -ROOM SCHEDULE

ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
02-0-01	HALL	4.28 m ²	
02-0-03	EXTERNAL STORE	4.64 m ²	PART OF STORAGE -AGG TOTAL 8M2 - MIN 7M2.
02-0-04	UNDER STAIRS-STORE	3.9 m ²	EXTERNAL-EXCLUDED FROM AREA & STORAGE CALC AS TOO LOW

00 LOWER LANDING			
02-0-02	LOWER FLIGHT	3.07 m ²	PART M COMPLIANT

01 FFL			
02-1-01	MAIN BEDROOM	13.06 m ²	13m2 min main double
02-1-02	BEDROOM 02	12 m ²	11.4m2 min double/ AGG PROVISION 25.03M2 (MIN 25M2)
02-1-03	K/D/LIVING	30.72 m ²	MIN 30M2 TOTAL
02-1-04	BATHROOM	4.92 m ²	
02-1-05	STORE	2.72 m ²	PART OF STORAGE
02-1-07	LANDING	4.76 m ²	
02-1-08	PART-M-STAIRS	5.26 m ²	PART M COMPLIANT
02-1-09	SHELVES	0.64 m ²	PART OF STORAGE
02-1-10	EXTERNAL ENCLOSED TERRACE	22.36 m ²	MIN 20M2 EXTERNAL PRIVATE AREA (BALCONY) FOR APARTMENT. MIN 1800MM HIGH GUARDING/ SCREENS ENSURE THAT THERE IS NO OVERLOOKING FROM BALCONY.

(A)-UNIT 02 (2 BED 4 PERSON) 2 STOREY-OWN DOOR-APARTMENT - GROSS AREA

Number	Level	Name	Area	DEPT STANDARD COMMENTS FOR TOTAL FLOOR AREA
UNIT 02	00 GFL	UNIT 02 (2B 4P) ENTRANCE	7.45 m ²	OWN DOOR- STREET ENTRANCE LEVEL- INTERNAL DWELLING PART M COMPLIANT STAIRWAY ACCESSED FROM HERE

(A)-UNIT 03-2 BED 4 PERSON-2 STOREY APARTMENT-ROOM SCHEDULE

ROOM NUMBER	ROOM NAME	AREA	DEPARTMENT MIN STANDARD
00 GFL			
03-0-01	HALL	4.28 m ²	
03-0-03	EXTERNAL STORE	4.7 m ²	PART OF STORAGE -AGG TOTAL 7.99M2 - MIN 7M2.

00 LOWER LANDING			
03-0-02	LOWER FLIGHT	3.04 m ²	PART M COMPLIANT

01 FFL			
03-0-04	MID FLIGHT	2.81 m ²	PART M COMPLIANT
03-0-09	SHELVES	0.62 m ²	PART OF STORAGE
03-1-01	MAIN BEDROOM	13.06 m ²	13m2 min main double
03-1-02	BEDROOM 02	12 m ²	11.4m2 min double/ AGG PROVISION 25.03M2 (MIN 25M2)
03-1-03	K/D/LIVING	30.97 m ²	MIN 30M2
03-1-04	BATHROOM	4.95 m ²	
03-1-05	STORE	2.67 m ²	PART OF STORAGE
03-1-07	LANDING	4.68 m ²	
03-1-08	PART M STAIR	2.19 m ²	PART M COMPLIANT
03-1-10	EXTERNAL ENCLOSED TERRACE	22.01 m ²	MIN 20M2 EXTERNAL PRIVATE AREA (BALCONY) FOR APARTMENT. MIN 1800MM HIGH GUARDING/ SCREENS ENSURE THAT THERE IS NO OVERLOOKING FROM BALCONY.

(A)-UNIT 03 (2 BED 4 PERSON) 2 STOREY OWN DOOR APARTMENT-GROSS AREA

Number	Level	Name	Area	Comments
UNIT 03	00 GFL	UNIT 03 (2B 4P) ENTRANCE	7.45 m ²	OWN DOOR- STREET ENTRANCE LEVEL- INTERNAL DWELLING PART M COMPLIANT STAIRWAY ACCESSED FROM HERE
UNIT 03	01 FFL	UNIT 03-(2B 4P APT)	77.28 m ²	MIN 80M2 FOR 2 STOREY 2B 4P UNIT PLUS MAX 10% (8M2) 88M2

TOTAL FLOOR AREA: 2 BED 4 PERSON UNIT 2 STOREY 84.73 m²

2 BED 4P 2S UNIT

SCALE: 1 : 50

Purpose of Issue: **SINGLE STAGE SUBMISSION**

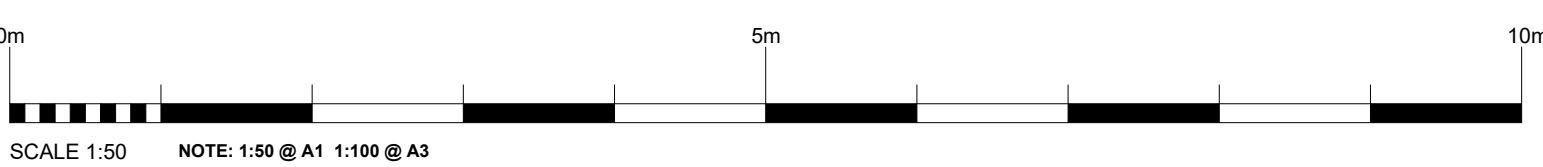
Project No: A629	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type: ST-1	Status: S2
Drawing Title: ST-1 FIRST FLOOR PLAN- FRONT UNITS		Drawing No: 105	Revision: /
Drawn By: Author	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: 1 : 50	First Issue: 03/08/2022
Checked By: Checker	A629 - MCC - ST-1 - XX - A - 105 - S2		



MAYO.IE

ARCHITECTS DEPARTMENT
MAYO COUNTY COUNCIL

RIAI



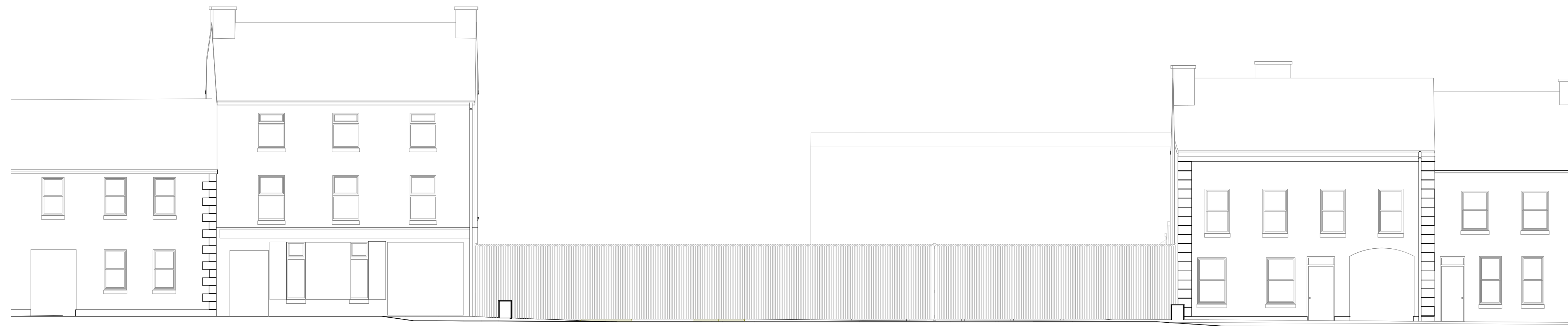
SCALE 1:50 NOTE: 1:50 @ A1 1:100 @ A3

STATUS KEY		Rev No.	Date	Comment
SHARED / FOR INFORMATION				
S0	WORK IN PROGRESS			
S1	COORDINATION			
S2	INFORMATION			
S3	REVIEW / COMMENT			
S4	CONSENT APPROVAL			
S5	COSTING			
D1	TENDER			
D2	CONTRACTOR DESIGN			
PUBLISHED				
A1	IFB / ISO / DAC			
A2	CONSTRUCTION			
AB	AS-BUILT			



Do not scale this drawing. Use written dimensions only

- Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions.
- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings. All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.

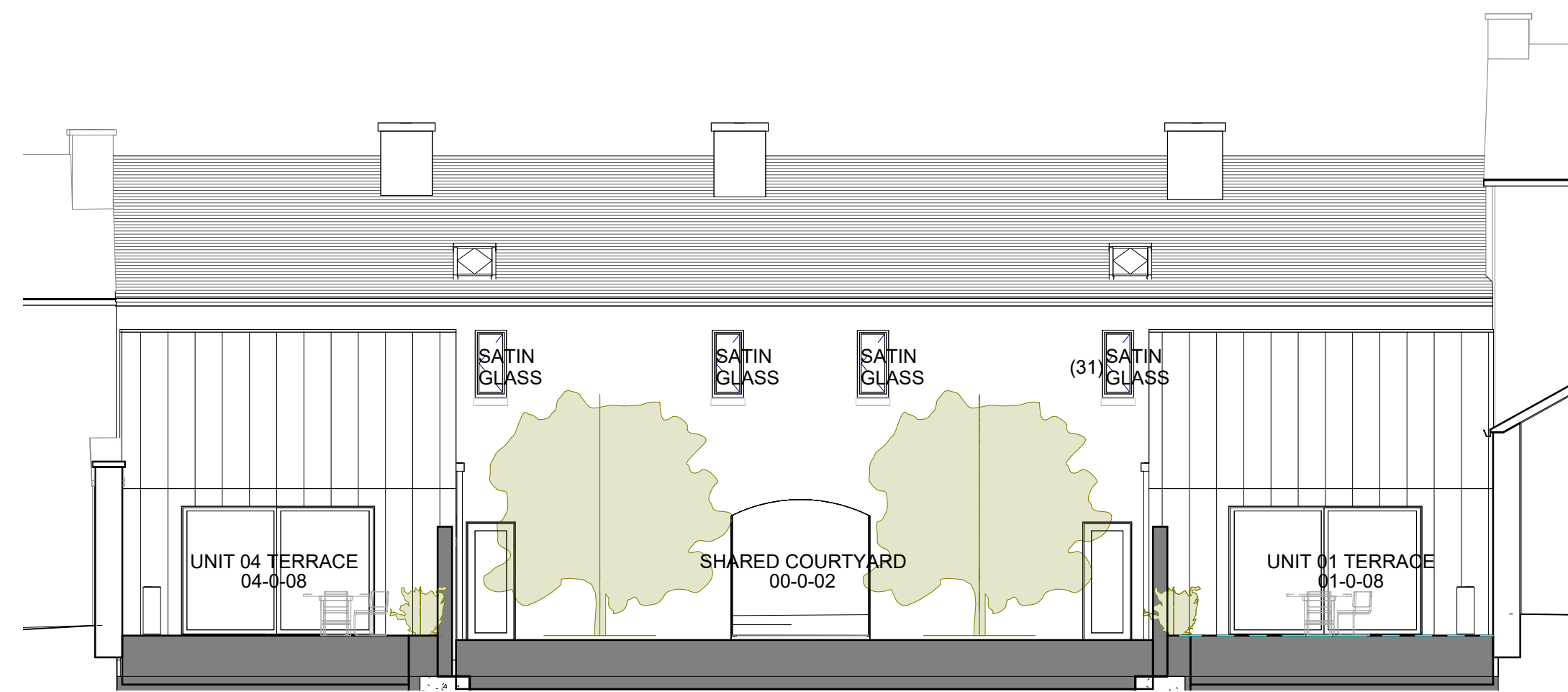


(ST-1) EXISTING STREET ELEVATION
SCALE: 1 : 100



(ST-1) PROPOSED STREET ELEVATION
SCALE: 1 : 100

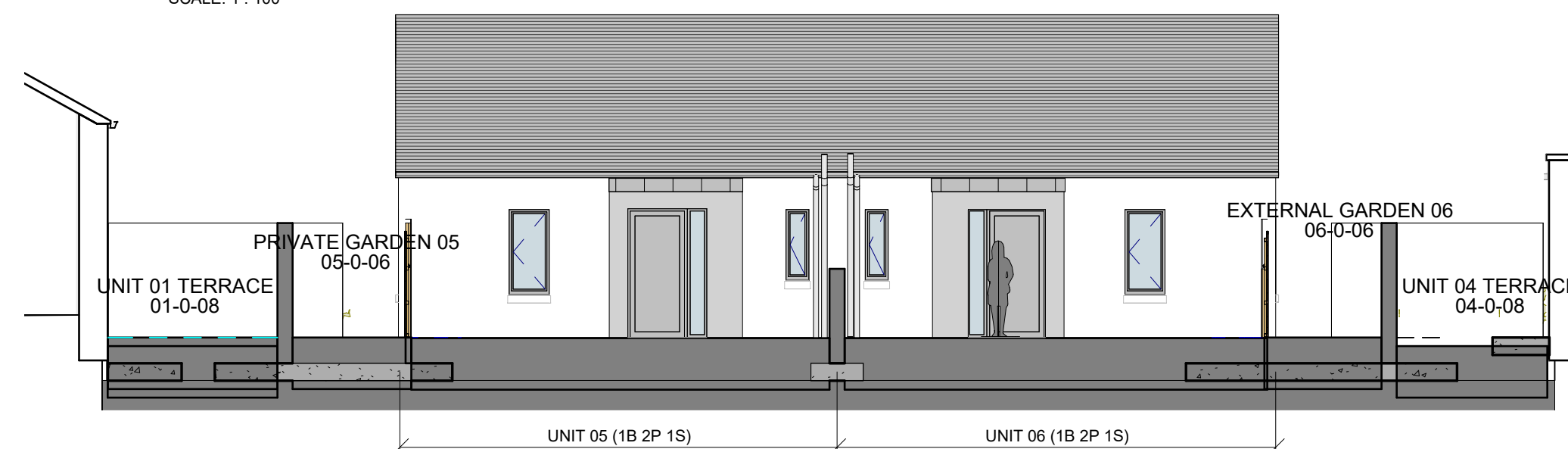
UNIT 01 (2B 3P) 1 STOREY APT UNIT 02 EXTERNAL UNIT 03 UNIT 04 (2B 3P) 1 STOREY APT
(2B 4P 2S) GFL ARCHED ENTRANCE (2B 4P 2S) GFL



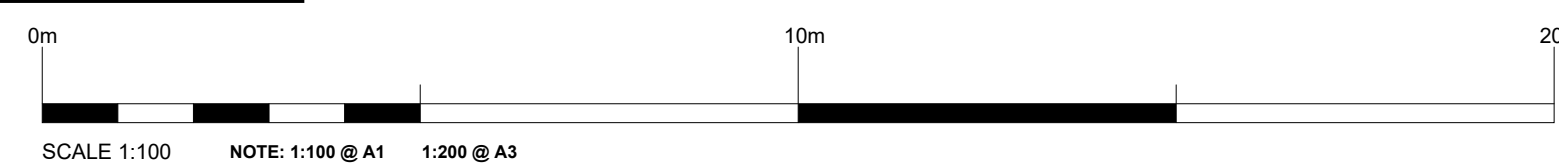
(ST-1) REAR ELEVATION- MAIN BUILDING
SCALE: 1 : 100



(ST-1) REAR ELEVATION-REAR BUILDING
SCALE: 1 : 100



(ST-1) PROPOSED ENTRANCE ELEVATION- REAR BUILDING
SCALE: 1 : 100



Purpose of Issue: **SINGLE STAGE SUBMISSION**

STATUS KEY			
Rev No.	Date	Comment	
SHARED / FOR INFORMATION			
S0		WORK IN PROGRESS	
S1		COORDINATION	
S2		INFORMATION	
S3		REVIEW / COMMENT	
S4		CONSENT APPROVAL	
S5		COSTING	
D1		TENDER	
D2		CONTRACTOR DESIGN	
PUBLISHED			
A1		IFB / FSD / DAC	
A2		CONSTRUCTION	
A3		AS-BUILT	



ARCHITECTS DEPARTMENT
MAYO COUNTY COUNCIL

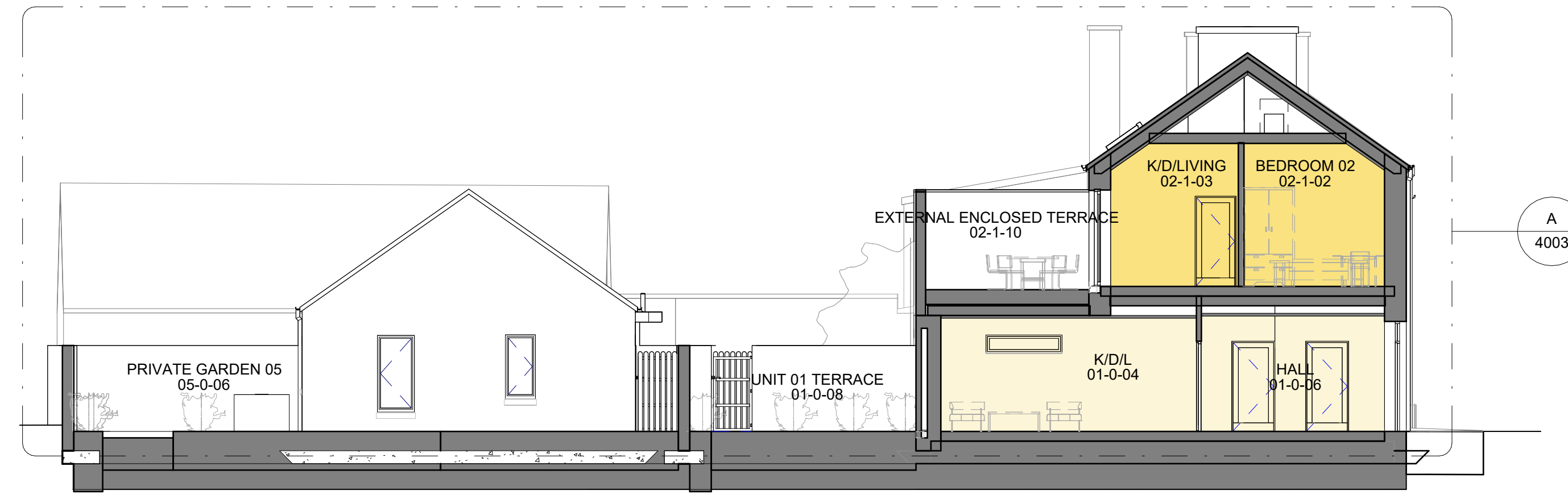


Project No: A629	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type ST-1	Status: S2
Drawing Title: ST-1 ELEVATIONS		Drawing No. 106	Revision: /
Drawn By: CMG	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: 1 : 100	First Issue: 03/08/2022
Checked By: KK-SW	A629 - MCC - ST-1 - XX - A - 106 - S2		



Do not scale this drawing. Use written dimensions only

- Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions.
- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings. All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.



(ST-1) SECTION A-A THRU SOUTHERN GARDENS FACING NORTH
SCALE: 1 : 100

1 BED 2 PERSON SINGLE STOREY SEMI-DETACHED UNIT
SUITABLE FOR SHELTERED HOUSING.
2 NO TOTAL - UNITS 05 & 06

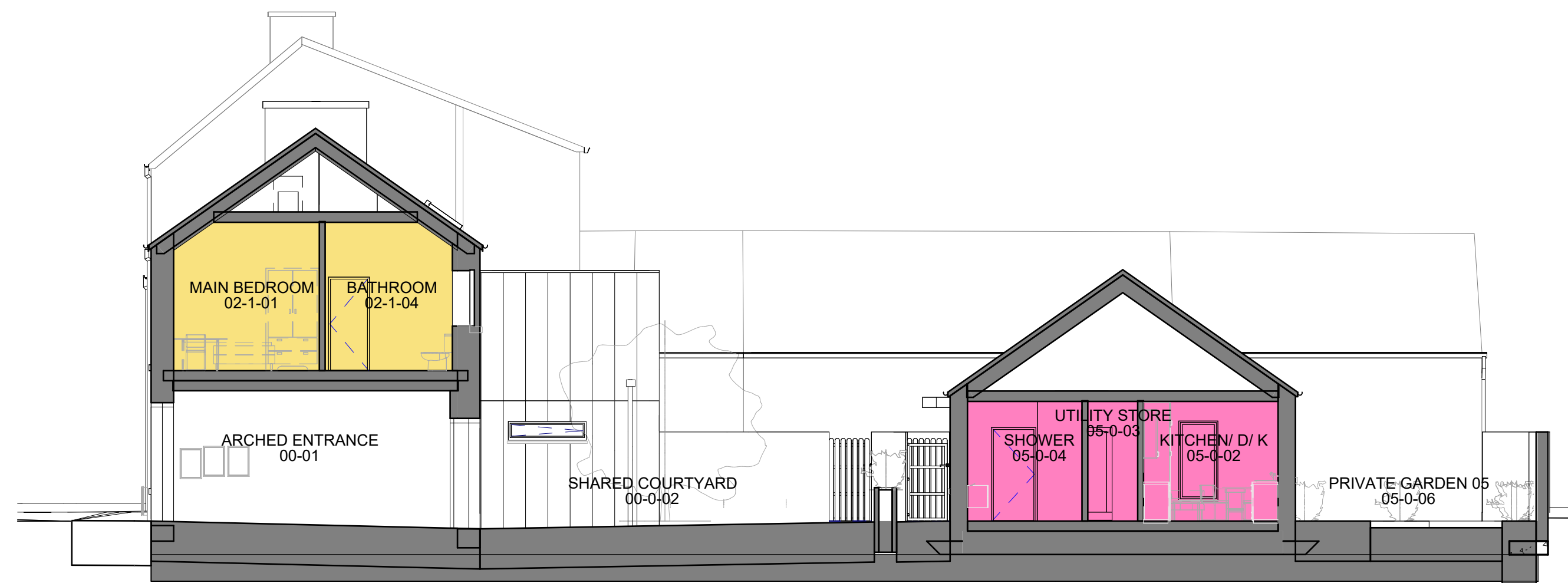
1 BED 2P 1S UNIT
SCALE: 1 : 100

2 BED 3 PERSON UNIT 1 STOREY APT.
2 NO TOTAL : UNITS 01 & 04

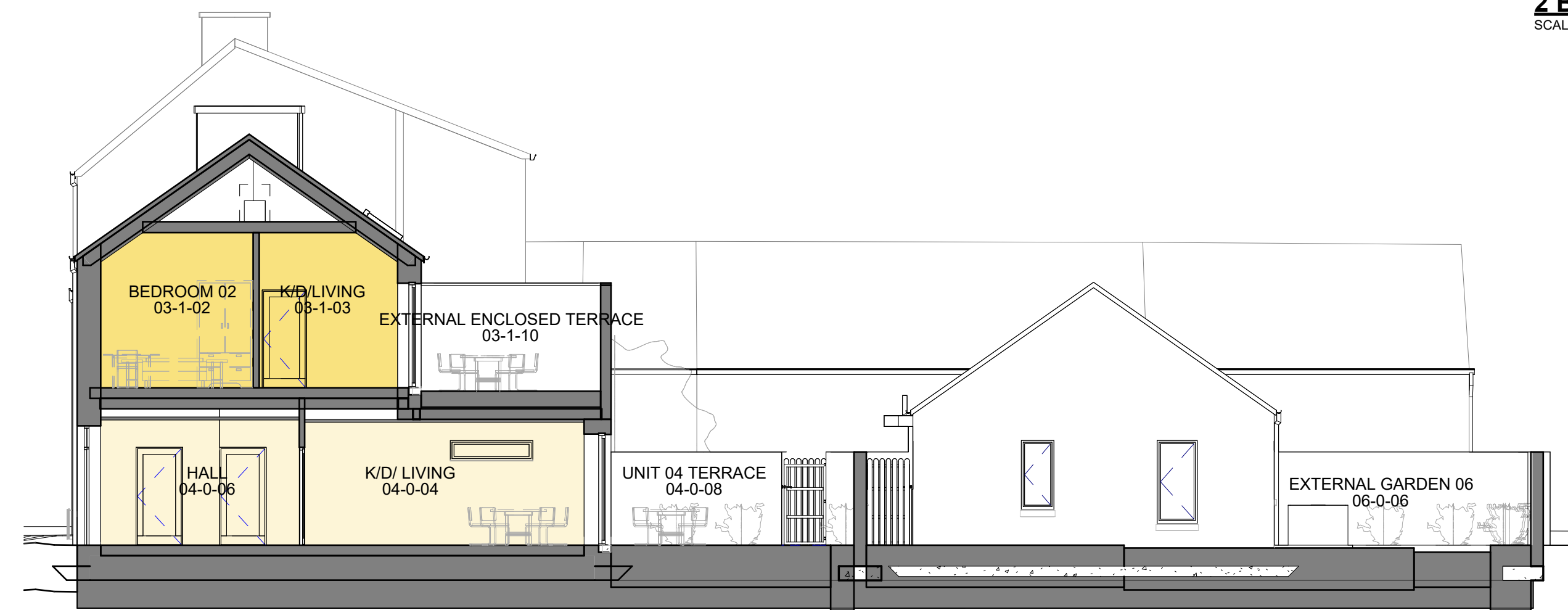
2 BED 3P 1S UNIT
SCALE: 1 : 100

2 BED 4 PERSON UNIT 2 STOREY APT.
2 NO TOTAL : UNITS 02 & 03

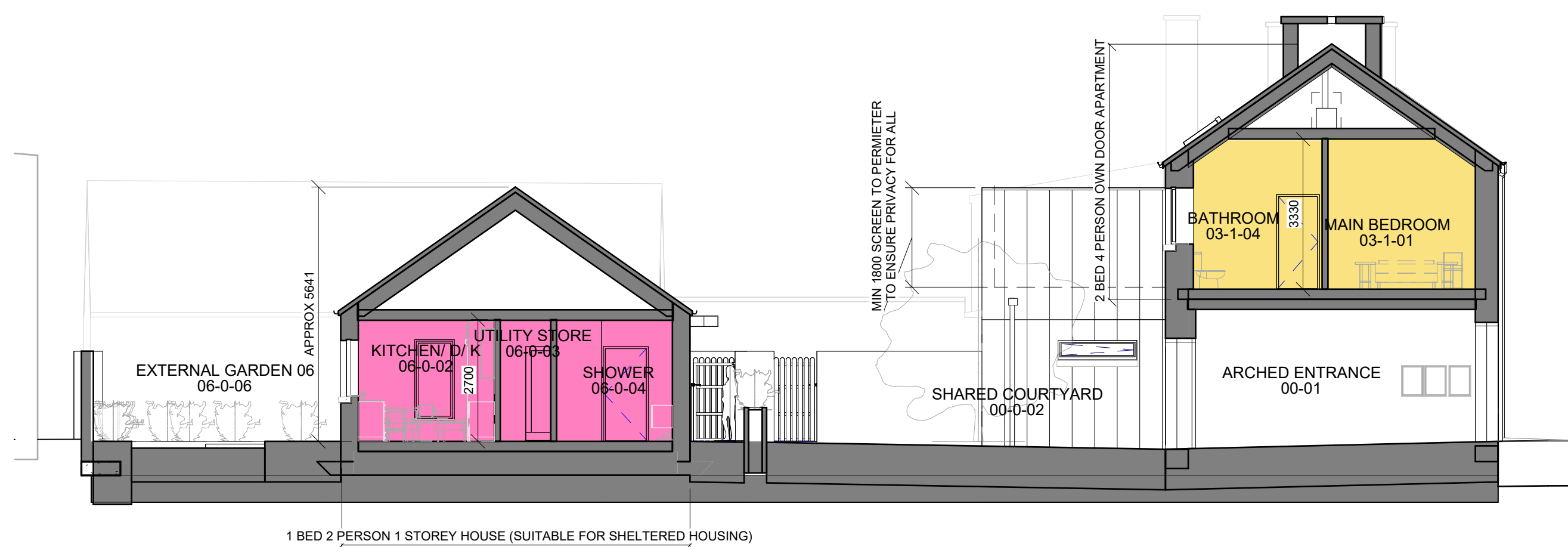
2 BED 4P 2S UNIT
SCALE: 1 : 100



(ST-1) SECTION B-B THRU ARCH FACING SOUTH
SCALE: 1 : 100



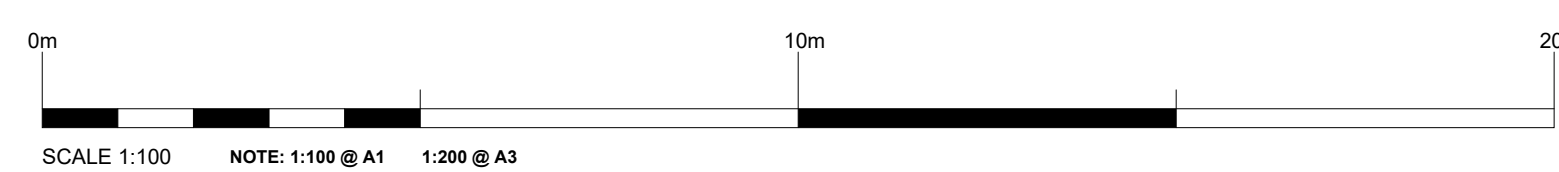
(ST-1) SECTION D-D THRU NORTHERN GARDENS FACING SOUTH
SCALE: 1 : 100



(ST-1) SECTION C-C THRU ARCHED ENTRANCE FACING NORTH
SCALE: 1 : 100



(ST-1) SECTION E-E THRU TERRACES FACING FRONT
SCALE: 1 : 100



Purpose of Issue: **SINGLE STAGE SUBMISSION**

STATUS KEY		Rev No.	Date	Comment
SHARED / FOR INFORMATION				
S0	WORK IN PROGRESS			
S1	COORDINATION			
S2	INFORMATION			
S3	REVIEW / COMMENT			
S4	CONSENT APPROVAL			
S5	CONSENT			
S6	CONTRACTOR DESIGN			
PUBLISHED				
A1	IFB / FSD / DAC			
A2	CONSTRUCTION			
A3	AS-BUILT			



ARCHITECTS DEPARTMENT
MAYO COUNTY COUNCIL



Project No: A629	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type ST-1	Status: S2
Drawing Title: ST-1 SECTIONS		Drawing No. 107	Revision: /
Drawn By: Author	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: 1 : 100	First Issue: 03/08/2022
Checked By: Checker	A629 - MCC - ST-1 - XX - A - 107 - S2		



MAYO.IE

Do not scale this drawing. Use written dimensions only

- Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions.
- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings. All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.



(ST-1) 3D VIEW 01
SCALE:

NOTES:

GENEROUS SHARED EXTERNAL COURTYARD WITH PASSIVE SURVEILLANCE PROVIDED WITH SECURE ACCESS FROM STREET THROUGH ARCHWAY. LOCATION OF ARCHWAY CENTRAL ON FACADE HOWEVER TREATMENT OF STREET FACADE WILL BREAK DOWN DEVELOPMENT INTO A NUMBER OF ELEMENTS- TREATING ARCHWAY SO THAT IT WILL BE TO THE SIDE OF ONE OF THE FACADE ELEMENTS.

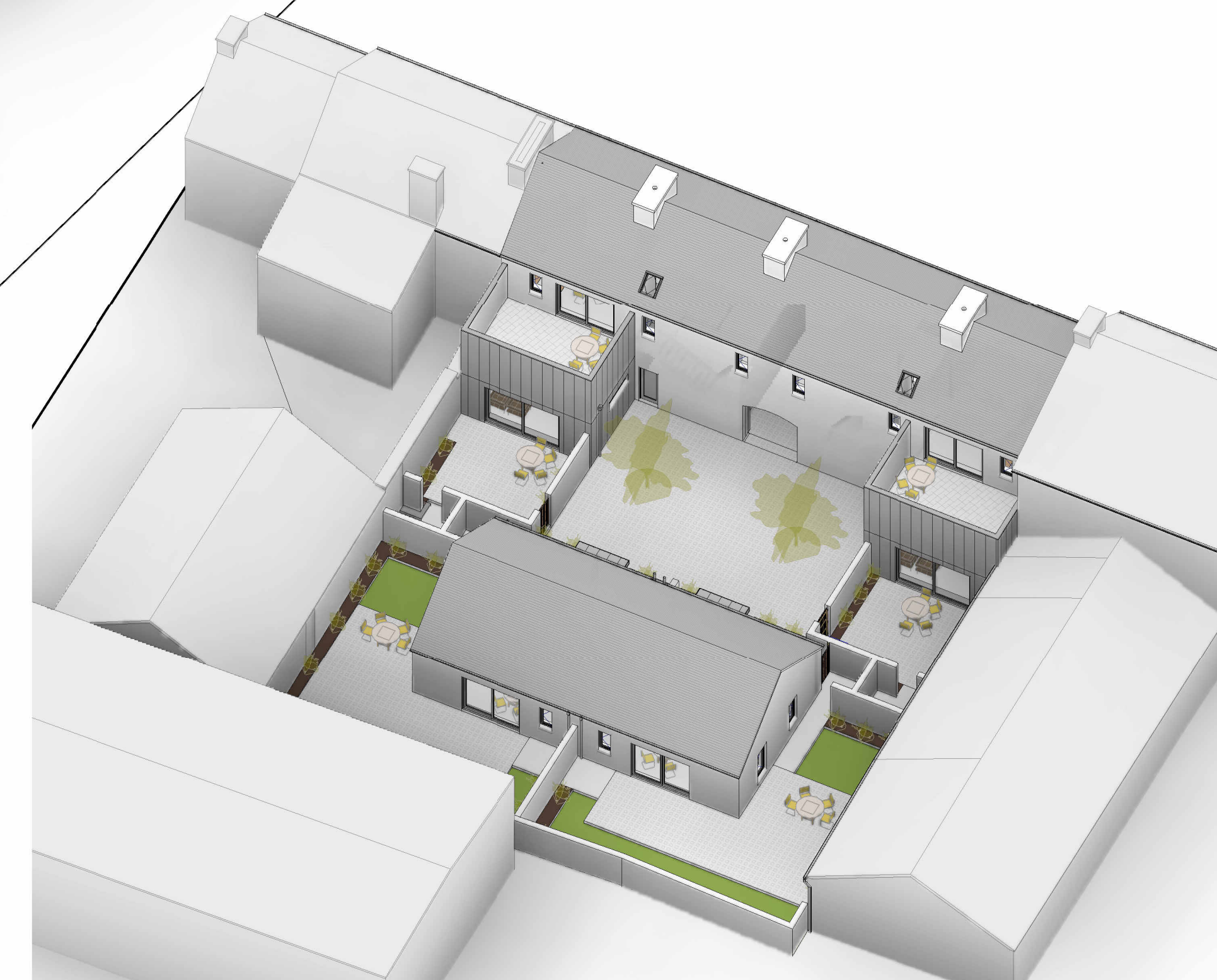
ALL UNITS ARE APARTMENTS AND HAVE PRIVATE EXTERNAL SPACE -MIN 20M2.

ALL UNITS HAVE SECURE PRIVATE BIN / BIKES ACCESSED FROM GROUND LEVEL.

PROPOSAL STREETScape HEIGHT 2 STOREY TO MATCH NORTHERN NEIGHBOUR STREET FRONTAGE

TOTAL OF 6 NO UNITS COMPRISING:

- UNITS 01 & 04 - 2 NO 2 BED 3P (SINGLE STOREY APARTMENT)
- UNITS 05 & 06 - 2 NO 1 BED 2P (SINGLE STOREY SEMI-D UNIT)
- UNITS 02 & 03 - 2 NO 2 BED 4P (TWO STOREY APARTMENT)



(ST-2) 3D VIEW 02
SCALE:

Purpose of Issue: **SINGLE STAGE SUBMISSION**

STATUS KEY		Rev No.	Date	Comment
SHARED / FOR INFORMATION				
S0	WORK IN PROGRESS			
S1	COORDINATION			
S2	INFORMATION			
S3	REVIEW / COMMENT			
S4	CONSENT APPROVAL			
S5	COSTING			
D1	TENDER			
D2	CONTRACTOR DESIGN			
PUBLISHED				
A1	IFB / RFO / DAC			
A2	CONSTRUCTION			
AB	AS-BUILT			



ARCHITECTS DEPARTMENT
MAYO COUNTY COUNCIL

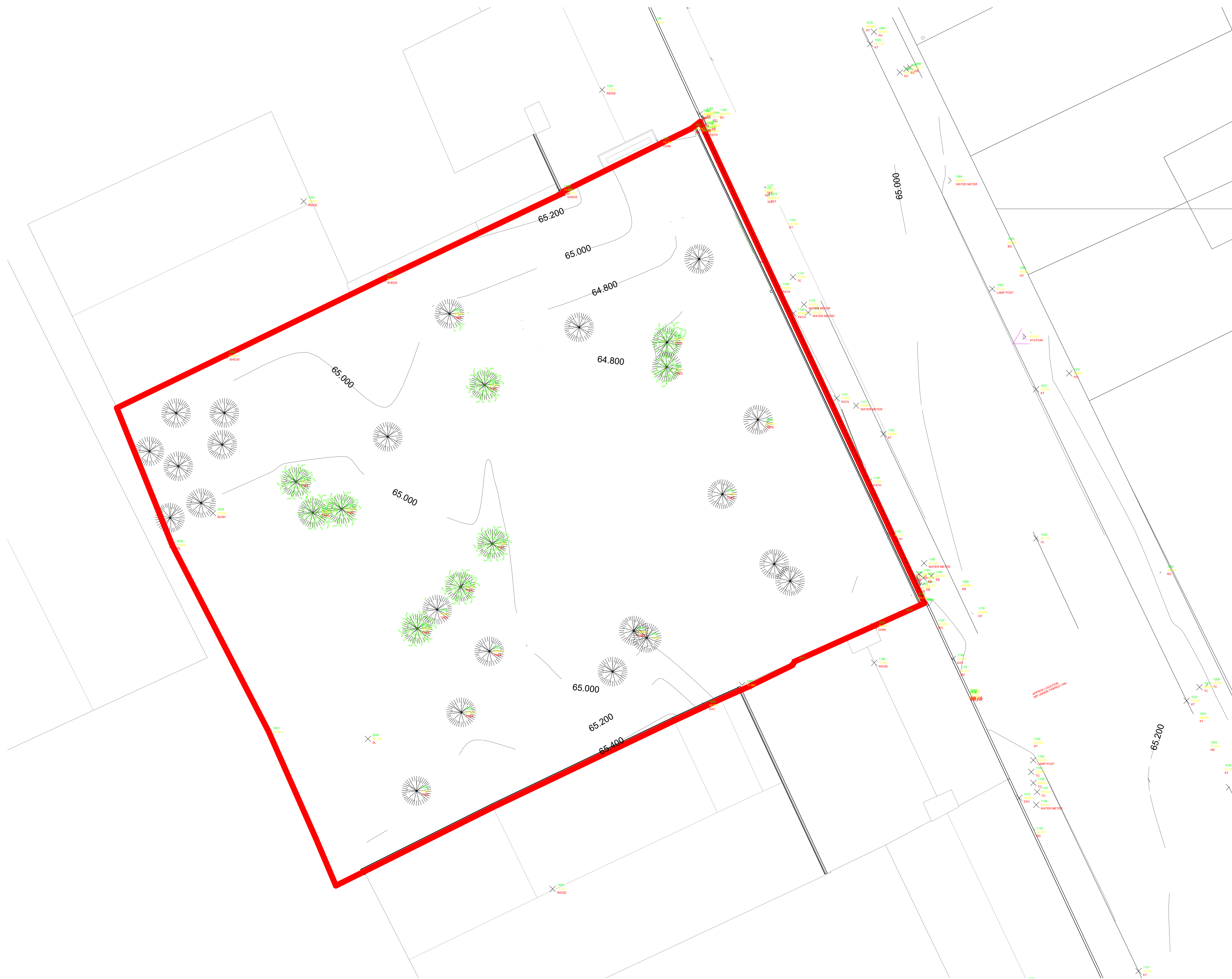
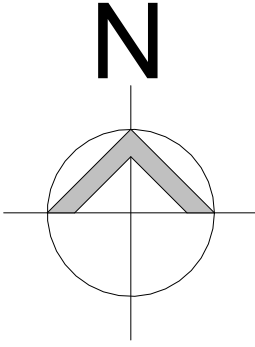


Project No: A629	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type ST-1	Status: S2
Drawing Title: ST-1 3D VIEWS		Drawing No. 108	Revision: /
Drawn By: CMG	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale:	First Issue: 03/08/2022
Checked By: KK	A629 - MCC - ST-1 - XX - A - 108 - S2		



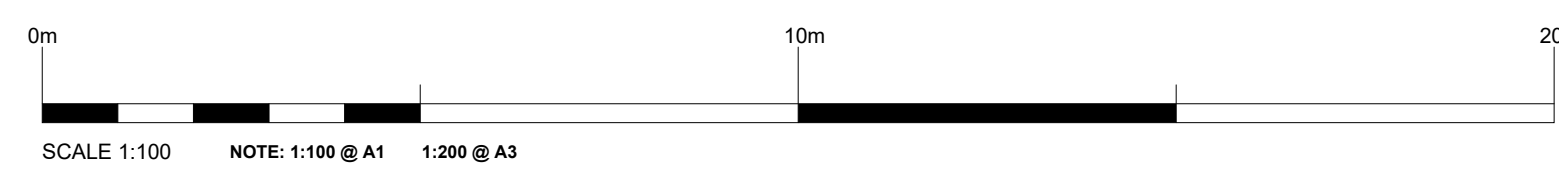
Do not scale this drawing. Use written dimensions only

- Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions.
- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings
- All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.



LEGEND	
	SITE BOUNDARY OUTLINED IN RED. AREA APPROX 793M2 (0.0793 HA) ITM Site Co-Ordinates = 534000,775100 Total Number of Units = 6
	AREA UNDER APPLICANTS OWNERSHIP OUTLINED IN BLUE
	LOCATION OF SITE NOTICE
	HATCH DENOTES EXISTING BUILDING NOT IN APPLICANTS OWNERSHIP

(ST-1) EXISTING SITE PLAN
SCALE: 1:100



Purpose of Issue: **SINGLE STAGE SUBMISSION**

STATUS KEY	
SHARED / FOR INFORMATION	
S0	WORK IN PROGRESS
S1	COORDINATION
S2	INFORMATION
S3	REVIEW / COMMENT
S4	CONSENT APPROVAL
S5	COSTING
D2	TENDER
D3	CONTRACTOR DESIGN
PUBLISHED	
A1	IFB / FSD / DAC
A2	CONSTRUCTION
AB	AS-BUILT



ARCHITECTS DEPARTMENT
MAYO COUNTY COUNCIL



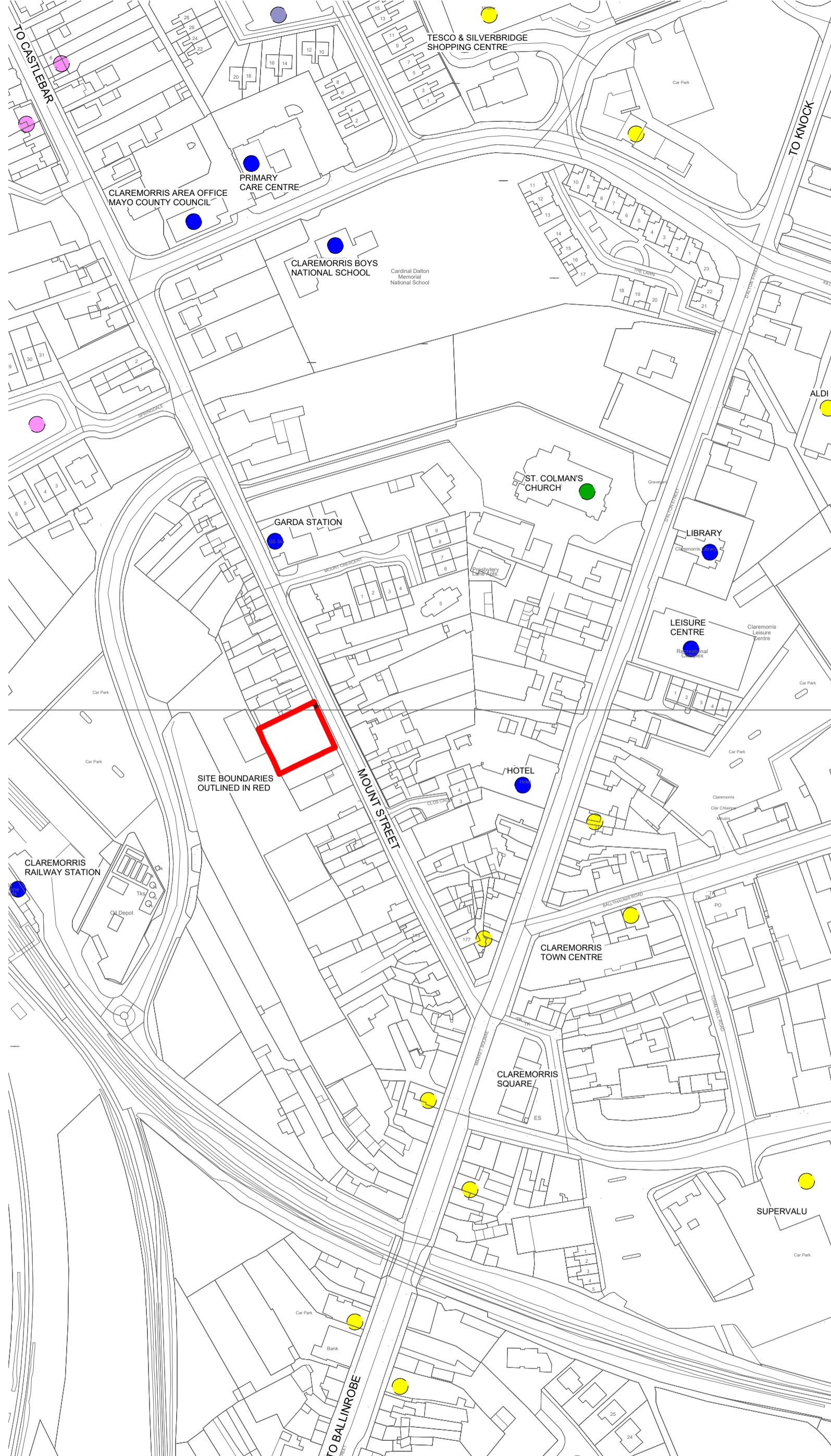
Project No: A629	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST, CLAREMORRIS	Dwg Type ST-1	Status: S2
Drawing Title: ST-1 EXISTING SITE PLAN	Drawing No. 109	Revision: /	First Issue:
Drawn By: RK/ CM	No. - Orig - Cat - Lvl - Type - Role - No. - Status	Scale: 1:100	03/08/2022
Checked By: CM	A629 - MCC - ST-1 - XX - A - 109 - S2		



Do not scale this drawing. Written dimensions only to be used.

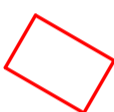
- Scales as stated are valid on the original drawing only. Written dimensions take precedence. Detail dimensions take precedence over plan dimensions.
- Notify architect of any dimensional discrepancies. Any modifications or deviation to be brought to the attention of the architect for review and approval.
- All vertical dimensions shall be taken from a "bench mark" or other similar guide established prior to the start of construction. High points, low points, irregularities in floor slab which could affect fabrication / installation, work of other trades or vendors shall be brought to the attention of Mayo County Council Architects immediately.
- All drawings are to be read in conjunction with other consultant's drawings
- All dimensions, unless otherwise stated, are given in millimetres and must be confirmed and checked by the Contractor on site.
- Levels are generally given in metres from a specified datum.
- All Levels must be confirmed and checked by the Contractor on site.
- Any discrepancies on this drawing are to be brought to the attention of Mayo County Council Architects immediately.


Rev No.	Date	Comment





SITE AMENITIES LEGEND


ITM COORDINATES
E 533992, N 775104


 **AREA OF SITE**
0.196 ACRES / 793 SQM / (0.079 HA)

 **PUBLIC AMENITY** - school, playing pitches, leisure

 **RETAIL**

 **CHURCH**

 **PRIVATE RESIDENTIAL**

 **PUBLIC RESIDENTIAL**

(ST-1) AMENITIES MAP

SCALE: 1 : 2000

SINGLE STAGE SUBMISSION

SHARED / FOR INFORMATION	
S0	WORK IN PROGRESS
S1	COORDINATION
S2	INFORMATION
S3	REVIEW / COMMENT
S4	CONST. APPROVAL
S5	COSTING
D1	TENDER
D2	CONTRACTOR DESIGN
D3	CONTRACTOR DESIGN
PUBLISHED	
A1	PTS / FSD / DAC
A2	CONSTRUCTION
AB	AS-BUILT



ARCHITECTS DEPARTMENT
MAYO COUNTY COUNCIL



Project No: A629	Project Title: TOWN RESIDENTIAL DEVELOPMENT MOUNT ST. CLAREMORRIS	Dwg Type: ST-1	Status: S2
Drawing Title: ST-1 AMENITIES MAP	Drawing No.: 110	Revision: /	First Issue: 03/08/2022
Drawn By: DC	Checked By: MS	Scale: As indicated	Project No.: A629 - MCC - ST-1 - XX - DR - A - 110 - S2



APPENDIX B

JAPANESE KNOTWEED MANAGEMENT PLAN

Japanese Knotweed Management Plan
**Removal of Affected Soils to Licenced Soil Recovery &
Biosecurity Documents**



Site Removal Address: Mount Street, Claremorris, Co Mayo

Client: Mayo County Council

Prepared By: The Japanese Knotweed Company, Co. Kerry
Doc. File Name: 381-03/ JKC21

Created - March 10th 2021

TABLE OF CONTENTS

1. Introduction to the Site

- 1.1 Description of the Site
- 1.2 Site management objectives
- 1.3 Limitations and threats to management objectives
- 1.4 Inventory of the site
- 1.5 Legislative framework
- 1.6 Guidance documents
- 1.7 Invasive Species

2. Overview of Management Plan

- 2.1 Brief description of management plan
- 2.2 Setting Priorities
- 2.3 Preventing further spread

3. Specific Control Plans for Japanese Knotweed

- 3.1 Management objectives
- 3.2 Management options
- 3.3 Biosecurity
- 3.4 Actions planned on site
- 3.5 How actions will be evaluated
- 3.6 Resource needs
- 3.7 Results of evaluations
- 3.8 Post monitoring

4. Summary of Information

- Table 1 Priority areas
- Table 2 Control methods
- Table 3 Implementation schedule

5. Appendices

- Appendix A Daily Inspection forms
- Appendix B Herbicide record sheet
- Appendix C Environmental risk assessment
- Appendix D COSHH – Control of Substances Hazardous to Health Assessment
- Appendix E Location of Japanese Knotweed map

1. Introduction to Site

1.1 Description of Site

This site is located at Mount Street, Claremorris, Co Mayo, The Japanese Knotweed Company carried out intrusive ground investigations by means of slit trenching at the above address on February 15th 2021.

Prior to the excavator being imported to site to carry out these intrusive ground investigative works, a thorough biosecurity assessment was undertaken on this machine by Mr Peter Byrne of TJKC. A bio-secure area was set up at the rear entrance of the site, footbaths were put in place and a clean down zone for the excavator was erected.

Japanese Knotweed was initially identified on this site by Mayo county council representatives in 2016, a herbicide treatment programme was undertaken by Mayo county council and administered to the Japanese Knotweed on this site over a period of 4 years.

Large crowns and canes are present throughout the areas of infestation and the rhizome root material that is present in the soils within these areas is viable. The footprint of this site measures 805m², the slit trenching carried out on this site has identified 530m² of this footprint to be infested with viable rhizome root material – Please see site location map included in this document – area of infestation hatched in red.

13 slit trenches were excavated to varying depths, the deepest excavated trench being 2.3m, no viable rhizome was located below a depth of 1.2m. 65% of the rhizome is present within the top 0.450m of soils, this top 0.450m of soils comprises of rich black soil and sandy loam, the remaining soils located between 0.450m and 2.3m comprise of wet and stony clay ground.

As the depth of rhizome located throughout these site investigations varies from between 0.800m to 1.2m, it can be estimated that the average soil removal depth required at this site would be 1m throughout the 530m² of identified affected soils, giving a volume of 530m³ of affected soils to be removed.

530m² x 0.450m = 238.5m³ (Rich black soil & sandy loam 0.450m) conversion rate to tonne used for these soils is 1.6 – 238.5m³ x 1.6 = 381.6 tonne

530m² x 0.550m = 291.5m³ (Wet & stony clay ground 0.550m) conversion rate to tonne used for these soils is 1.8 – 291.5m³ x 1.8 = 524.7 tonne

Total tonnage for removal from site 906.3 tonne

The slit trenches at the Northern boundary identified live rhizome material to be present beneath the limestone boundary wall, live rhizome was also identified along the Southern boundary beneath the foundation of a concrete built storage shed. The neighbouring property at the Western boundary of this site, comprises of a concrete yard and storage sheds, live rhizome was also identified to be present in the soils of this neighbouring property.

Should the identified affected soils be removed from this site a vertical Geotextile root barrier membrane will be required to be inserted at the Northern, Western and Southern boundaries, this membrane would be required to be inserted at a minimum depth of 2.5m.

The recommended root barrier that is to be placed at the Northern and Southern boundaries should be inserted approximately 0.750m from the neighbouring structures to allow any viable rhizome that

maybe present beneath these structures to be accessed and subjected to a herbicide treatment plan, all soils within the 0.750m could be incorporated into a landscaping detail for this site. Please note, a Structural Engineers detail will be required to ensure that the neighbouring properties are not in any way undermined in the process of the insertion of these vertical Geotextile root barriers.

It is understood that this site is planned for the construction of housing, site constraints do not allow for any on-site treatment options, such as a deep burial or an above ground bund to take place on this site. In order to create a site completely free of Japanese Knotweed and to allow for the planned construction work to proceed unhindered, it is recommended that all affected soils be removed under licence from the National Parks & Wildlife Services to a licenced soil recovery facility.

This management plan is to be used as part of the application to NPWS to raise a removal and transportation licence. This is a requirement for removing or transporting soils containing non-native invasive plant material as set out in the third schedule under regulations 49 & 50.

1.2 Site Management Objectives

The site objectives relevant to this management plan is to create a site free of Japanese Knotweed, and for the Japanese Knotweed to pose no further threat to the site as a whole, and to the surrounding environment and biodiversity of the area.

1.3 Limitations and threats to management objectives

The location of this Japanese Knotweed currently poses a threat to this site, the neighbouring properties and to the surrounding environment and biodiversity of the area. No onsite remediation programme is available to these affected soils due to site constraints.

The biosecurity measures outlined in this management plan must be adhered to at all times to limit any cross contamination or further threat to this site. All biosecurity measures outlined for this site will be implemented by a certified surveyor in non-native invasive plants or suitably qualified personnel.

1.4 Inventory of the Site

This site is located at Mount Street, Claremorris, Co Mayo and is a vacant site with no onsite inventory to record

1.5 Legislative Framework

At an international level Ireland has signed up to a number of treaties and conventions, including the **Convention on Biological Diversity**. Such treaties and conventions require the Irish Government to address issues of invasive alien species. This has been implemented through the **Wildlife Act 1976 and 2000** and further regulated through the **European Communities (Birds and Natural Habitats) Regulations 2011 (SI 477 of 2011)**

Regulation 49

‘a person shall be guilty of an offence if they: plant; disperse; allow or cause to disperse; spread or cause to grow the plant in the Republic of Ireland’. The list of species in the Third Schedule includes Japanese Knotweed, Giant Knotweed and their hybrid Bohemian Knotweed.

Regulation 50

‘an offence to or intend to; import; buy; sell; breed; reproduce or propagate; offer or expose for sale; advertise; publish a price list; transport; and distribute any plant species or vector material listed in the Third Schedule’.

Non-native species subject to restrictions under Regulations 49 and 50 are included in the third schedule of the European Communities (Birds and Natural Habitats) Regulations 2011 (S.I 477 of 2011). The invasive species listed in the Third Schedule include: Japanese Knotweed, Giant Knotweed, Giant Rhubarb, Himalayan Balsam, Himalayan Knotweed, Bohemian Knotweed and Rhododendron.

The vector material (i.e. facilitates spread), referred to in the regulations (Third Schedule Part 3) which applies to Knotweed species is:

“Soil or spoil taken from places infested with Japanese Knotweed, Giant Knotweed or their hybrid Bohemian Knotweed”

The Waste Management Act 1996, as amended and associated regulations must be complied with if Japanese Knotweed contaminated material is to be moved off site.

It is a requirement to dispose of this material to a fully licenced wasted facility, capable of accepting such contaminated material. This disposal requirement applies to all Japanese Knotweed material including untreated and treated plant material. It also applies to soil containing the plant material, i.e. a 7m radius around the above ground stand and up to 3m deep below the stand, this is site specific.

If Japanese Knotweed contaminated material is removed off site it will require a **licence from the National Parks and Wildlife Service** in advance of any removal, in accordance with the European Communities (Birds and Natural Habitats) Regulations 2011 (SI 477)

1.6 Guidance Documents

The following guidance documents and literature sources were consulted during the preparation of this report:

- National Roads Authority NRA (2010). *Guidelines on management of noxious weeds and non-native invasive plant species on national roads.*
- Crushell, P., Foss P., Hurley C. & O’ Loughlin B. (2011). *County Kerry Invasive Species Survey 2011 – Pilot Mapping Study of the River Lee Catchment, Tralee.* Report prepared for Kerry County Council and The Heritage Council
- Environmental Agency (UK) (2013). *The Knotweed Code of Practice: Managing Japanese Knotweed on Development Sites (Version 3, amended in 2013)*
- Stokes, K., O’ Neill K., & McDonald R.A. (2004) *Invasive Species in Ireland* Unpublished Report
- NPWS (2011) *Actions for Biodiversity 2011-2016, Irelands second National Biodiversity Plan.* Department of Arts Heritage and the Gaeltacht.
- Department of Environment (2013). *An invasive alien Species Strategy for Northern Ireland.* www.doeni.gov.uk
- Irish Water Report. *Information and Guidance Document on Japanese Knotweed Asset Strategy and Sustainability*

1.7 Invasive Species

The convention on Biological Diversity defines an alien invasive species as '*an alien species which become established in natural or semi-natural ecosystems or habitats, is an agent of change and threatens native biological diversity*'. The terrestrial invasive plant species Japanese Knotweed was recorded on site and a species account is described below:

Japanese Knotweed is a tall vigorous ornamental plant that escaped cultivation in the late nineteenth century and has since become an aggressive invader in both rural and urban environments. The plant can grow up to 2-3 metres high and its root system can extend as deep as 3 metres into the ground and 7 metres laterally from the parent plant. The reason this plant is such a threat is due to the nature of its regeneration. Cut fresh stems can produce fresh shoots and roots from nodes when immersed in soil or water. Japanese Knot weed is one of the highest risk non-native invasive species in Ireland. The negative impacts of this species include disruption to sight lines on roads and railways, out-competing native flora and damaging tarmac and paved surfaces.

2.1 Brief description of management plan

A certified surveyor or otherwise suitable qualified personnel, will oversee the implementation of the biosecurity measures outlined within this document. All affected soils will be removed under the direction of the surveyor and transported to the soil recovery facility under licence from the National Parks & Wildlife Services.

These soils will be placed in sealed vehicles and transported under national waste collection permits in conjunction with the National Parks & Wildlife Services licence. Under no circumstances should any soil removal works commence at this site without the NPWS licence being granted.

All factors specific to this site have been taken into consideration and the treatment programme outlined in this management plan have been identified as the most environmentally effective while accounting for the biodiversity of the surrounding area in general. This management plan details the most economically efficient treatment methods available to this site.

Please note: Management records and biosecurity records to be updated on a daily basis and attached to the management plan, all records to be signed and dated.

2.2 Setting Priorities

The confirmed location of the Japanese Knotweed infestation identified on this site at Mount Street, Claremorris, Co. Mayo should not have any works carried out without a certified surveyor of invasive plants being present to ensure that no Japanese Knotweed material further infests this site or escapes off site.

No soils are to be removed from the infested areas until the contractor has obtained a removal and transport licence from the NPWS

A buffer zone of 7 metres will be required to be erected on the commencement of the removal of the soils affected with Japanese Knotweed. This buffer zone will need to be clearly identified with fencing and signage, no works are to be carried out inside this buffer zone without the presence and the supervision of a certified surveyor of invasive plants on site.

A certified surveyor or similarly qualified personnel will need be present at this site to oversee the soil removal and to insure that all essential biosecurity measures are implemented fully at Mount Street, Claremorris, Co. Mayo. These biosecurity measures as outlined in the biosecurity section of this document will need to be adhered to at all times and will also need to remain in place for the duration of the earth works at no time should vehicles or personnel breach the 7 metre buffer zone without a certified surveyor in invasive plants being present.

Please note: Management records and biosecurity records to be updated on a daily basis and attached to the management plan, all records to be signed and dated.

2.3 Preventing further spread – High priority

Ensure all site users are aware of invasive species, management plan and treatment methodologies, this will be achieved through tool-box talks before work begins on the site
Biosecurity – during the planned removal works all plant and machinery used in the infested areas will be regularly cleaned and checked for any rhizome or plant debris to ensure no cross contamination occurs.

The Japanese Knotweed identified area will be fenced off and sign posted during this process, using standard awareness signage. Access pathways will be clearly identified as will any clean down zones. All vehicles entering and exiting the site will need to be thoroughly inspected and cleaned down to ensure no cross contamination occurs within the site or outside of the site.

Under no circumstances should any affected soils be removed from this site without the management plan being updated and a licence from the National Parks & Wildlife Services being obtained. Please be aware of current legislation with regard to the removal of soils containing invasive plant material.

As soils and hard core material will be imported to this site for the purpose of backfilling and reinstatement works, it is vital that these materials are inspected at source, to ensure that no non-native invasive plant material is imported to site. Should this precaution not be undertaken imported materials will pose further risk to site.

3. Specific controls plans for Japanese Knotweed

3.1 Management Objectives

A suitable qualified surveyor in invasive plants will be responsible for ensuring that this management plan is implemented on the site at Mount Street, Claremorris, Co. Mayo
The contractor awarded these works will furnish a completed management plan attaching all relevant documentation and updates for transparency to all relevant parties.

3.2 Management Preferred Options specific to this site

- Certified surveyor to oversee all essential biosecurity
- Certified surveyor to oversee the removal of affected soils.
- Certified surveyor to oversee the erection of fencing, signage and the restricted access zone to this site where the infestations of Japanese Knotweed are present.

These options were chosen as the most sustainable both environmentally & economically

3.3 Biosecurity Measures & Site Hygiene Practices

- The vehicles to be used for the transportation of the soils are required to have a covered back carriage body, soils to be 200mm below the edge of the carriage body
- A drop curtain must be in place on each vehicle prior to the commencement of loading
- 7 metre buffer zone from the identified infestation of Japanese Knotweed to be clearly fenced off and signage erected
- Tool box talk on invasive plant material to be provided to all relevant personnel involved in the works being undertaken
- A certified surveyor to oversee all biosecurity measures are implemented in full
- No unauthorised personnel to be admitted within the 7 metre buffer zone
- On site foot baths and clean down zones to be provided as footwear acts as a vector for the spread of invasive plants
- All machinery being brought to site must be inspected for any soils that may contain invasive plant material before being allowed to enter the work zone
- At no time should the excavators or vehicles involved in the earth works breach the 7 metre buffer zone – should it be necessary for an excavator to work within the 7 metre zone, a certified surveyor in invasive plants should be present – should this situation arise the excavator must be inspected and cleaned under the supervision of the certified surveyor
- No vehicles to be allowed to leave site without being thoroughly inspected and cleaned
- All clean down areas must be clearly identified and a suitable membrane put in place to protect the soils beneath from further infestation
- All membranes used for the clean down zones and footbath areas will be transported to the soil recovery facility on completion of these soil removal works at the affected site

Please note: Management records and biosecurity records to be updated on a daily basis and attached to the management plan, all records to be signed and dated.

3.4 Actions Planned

All works will be carried out in accordance with this management plan, should this management plan need to be amended due to any unforeseen constraints, these changes must be documented, dated and signed by a certified surveyor of invasive plants.

The identified infestations of Japanese Knotweed including a minimum 7 metre buffer zone to be fenced off with signage put in place clearly stating the presence of Japanese Knotweed all access to this area is to be restricted, these actions must be carried out prior to any earth works or soil disturbance taking place

A certified surveyor must be present while the soil removal works take place to ensure this management plan is executed as intended. Records of all inductions and biosecurity checks must be documented and attached to this management plan for transparency. Clear signage must be erected throughout the site warning of the dangers of cross-contamination that are posed by the invasive plant Japanese Knotweed.

3.5 How actions will be evaluated

The certified surveyor will conduct monitoring prior to any works being carried out to act as a baseline for future monitoring. Recording sheets will document any further visits and action taken.

3.6 Resources required to design & create management plan

- Full site survey & intrusive ground investigations carried out 15/02/2021
- Site investigation report 19/02/2021
- Design & creation of site specific management plan 10/03/2021

3.7 Results of evaluations

Site inspection forms contained within the appendix, this activity is carried out during the process. An audit trail shall be part of the completion package.

3.8 Post Monitoring

On completion of the soil removal works a 3 year post monitoring programme will be undertaken, the site will be inspected twice yearly throughout the growing season.

4. Summary of Information

Table 1	Priority Areas	Risk
Japanese Knotweed	Site as a whole	High Risk

Table 2	Control Methods	Risk
Japanese Knotweed	Dig and removal of infested soils – Transportation of soils under licence from NPWS to licenced soil recovery facility	Medium Risk
Japanese Knotweed	A vertical root barrier will be required to be inserted between this site and the neighbouring properties to ensure that re infestation does not occur from outside the confines of the site	Medium Risk

Table 3	Implementation Schedule
Phase 1: Initial site survey	Completed on 15/02/2021
Phase 2: Intrusive ground investigations	Completed on 15/02/2021
Phase 3: Herbicide Treatment	Administered by others 2016-2020
Phase 4: Design and creation of management Plan	Completed on 10/03/2021
Phase 5: Application for licence to NPWS	To be Confirmed
Phase 6: Enabling works / Tool box talks/fencing & signage	To be Confirmed
Phase 7: Commencement of soil removal works	To be Confirmed
Phase 8: Completion of soil removal works & validation	To be Confirmed
Phase 9: All recording sheets & documentation to be attached to this management plan	All attachments to be added on completion
Phase 10: Post monitoring	Twice yearly for a minimum of 3 years on the completion of the soil removal works

Appendix A

Daily Onsite Biosecurity & Management Forms

Date:		
Inspected by:	Initial:	Sign:
Site:		
Client:		

	Yes	No	Comment
Transport routes free of soils/debris			
Fencing	Still in place	Damaged/Removed	Comment
Clear Signage	Still in place	Damaged/Removed	Comment
Clean Zones Inspected	Yes	No	Comment
All Machinery/Plant inspected			
Have any vehicles left or entered the site ?			
Is the site secure?			
<u>Notes/Comments</u>			

A new form is to be used on each working day – it must be signed and dated by the appointed certified surveyor – it must be attached to the management plan at all times for transparency

Appendix B: Site Herbicide Record Sheet

Date:		
Inspected by:	Initial:	Sign:
Site:		
Client:		

Dose of Product	Volume Applied	Product Quantity	Total area Treated	Start Time	Finish Time

Names / Certificate Nos of Other Operators	

	PPE	WORN
Gloves		
Boots		
Coverall		
Apron		
Face Shield		
Hard Hat		
Respirator		

<p>Notes: Harvest interval, exclusion period, problems, equipment faults/repairs, notification of neighbour</p> <p>Technicians need to be fully qualified in PA1, PA6, PA6 AW & PA6 ING – Must also be a registered pesticide user</p> <p>Registered Pesticide Number _____</p> <p>Signed By: _____</p>	Wind Direction	N	NE	E	SE	S	SW	W	NW
	Wind Speed	Nil		Light		Moderate		Strong	
	Temperature	Cold		Cool		Warm		Hot	
	COSHH Sheets Present	Yes				No			
	Warning signs in place	Yes				No			

This form is to be used on each separate site visit and herbicide treatment – it must be attached to the management plan at all times for transparency

Appendix C: Environmental Risk Assessment Classifications – Extreme – High – Medium – Low Risk – No Risk

Hazard	Source	Pathway	Receptor	Risk	Abatement Measures
Hybrid Knotweed & Infested soils	Excavation of soils	Ground	Cross contamination onsite		All infested areas on infestation are to be fenced off 7 m from the nearest stems using high visibility fencing; signs will be displayed notifying all workers on site of the presence of invasive weeds. All infested soils to be contained within identified holding area. All machinery to be cleaned before moving to a different area.
Particulates	Plant & Machinery	Air	Residents - site staff		Ensure vehicles and plant in good operating condition.
Spillage's of oils & fuels	Plant & Machinery	Ground	Ground Water		Bulk Fuels to be contained within a bunded fuel tank. Vehicles to be inspected for leaks. Ensure vehicles & plant in good operation condition. Provide spillage control equipment.
Noise	Plant & Machinery	Air	Residents – site staff		Ensure vehicles and plant in good operation with silencers. Locate plant to minimise effect. Use plant at appropriate time.
Mud & Debris	Plant & Machinery	Ground	Public roadway - residents		All machinery shall be cleaned before leaving site. If required provide wheel wash facilities. If required provide road sweeper.
Dust	Plant Movement	Air	Adjoining land Residents Site staff		Spray water during dry spells. Deploy water bowser. Employ road sweeper to damp down roads.
Dated:			Signed:		

This form is to be used on each separate site visit and herbicide treatment – it must be attached to the management plan at all times for transparency

Appendix D: Control of Substances Hazardous to Health Assessment

Substance/Contaminant/Chemical : Herbicides

Activity / Element	Hazards in contact with	Who / What Risk	Initial Rating			Control Measures Specified	Residual Risk Rating		
			L	C	R		L	C	RRR
Decanting	Eyes	Operatives				Training/ Awareness of the task, the equipment and the chemicals involved must be given to anyone about to use this system. Attention must be drawn and information must be given and readily available for refresher reasons on the effects of this chemical; <ul style="list-style-type: none"> How to store it safely.. How to decant it safely.. How to use it.. What to do in case someone has been affected by it.. <u>First Aid</u> Eyes – flush immediately with water for about 15 mins. If the irritation persists seek medical advice Skin – Remove affected clothing and wash the underlying skin with copious amounts of soap and water. If the irritation persists seek medical advice Swallowing – Seek medical aid immediately and take the chemicals information (Material Safety Data Sheet) with you			
Spraying	Skin	Other site personnel							
Storage	Air passage ways	Members of the public							
Transport	Digestive System	Other							
Other	Other								
Notes:	Notes	Notes							
L = Likelihood		1 = Improbable, 2 = Unlikely, 3 = Likely, 4 = Very Likely, 5 = Certain							
C = Consequence		1 = Injury no lost time, 2 = Minor injury less than 3 days, 3 = Injury more than 3 lost days, 4 = Major Injury, 5 = Fatality							
R = Risk Rating		The risk rating is the value given to the Risk when the likelihood is multiplied by the Consequence							
RRR = Residual Risk		The residual risk rating is the value of the risk once all the control measures have been put into place and practise							
In the case of an environmental affect the Consequences rating should reflect the severity of that effect									
Date of Assessment:						Name of Assessor:			
Review Date:						Reviewed By:			

This form is to be used on each separate site visit and herbicide treatment – it must be attached to the management plan at all times for transparency

Appendix E – Location Map



All information relevant to this management plan will be attached on an ongoing basis for the duration of soil removal works. All monitoring and results of evaluations to be fully documented and recorded with photographs and attached to this management plan.

Kieren O' Shea
Certified Surveyor

APPENDIX C

BAT SURVEY REPORT



Comhairle Contae Mhaigh Eo
Mayo County Council

**PROVISION OF TOWN HOUSES
AT MOUNT STREET
CLAREMORRIS
CO. MAYO**

**DUSK EMERGENCE / DAWN RE-ENTRY
BAT SURVEY REPORT**

SEPTEMBER 2022

Mayo County Council,
Aras an Chontae,
The Mall,
Castlebar,
Co. Mayo,
Ireland.



Jennings O'Donovan & Partners Ltd.,
Consulting Engineers,
Finisklin Business Park,
Sligo.
Tel.: 071 – 9161416
Fax: 071 – 9161080
e mail: info@jodireland.com
web: www.jodireland.com



cpd ACCREDITED EMPLOYER



JENNINGS O'DONOVAN & PARTNERS LIMITED.

Project, Civil and Structural Consulting Engineers,
 FINISKLIN BUSINESS PARK,
 SLIGO,
 IRELAND.





Telephone (071) 91 61416
 Fax (071) 91 61080

Email info@jodireland.com
 Web Site www.jodireland.com

DOCUMENT APPROVAL

PROJECT	Dusk Emergence /Dawn Re-entry Bat Survey at Mount Street, Claremorris, Co. Mayo	
CLIENT / JOB NO	Mayo County Council	6729
DOCUMENT TITLE	Bat Survey Report	

Prepared by**Reviewed / Approved by**

Document FINAL	Name Ryan Mitchell	Name Dr. Monica Sullivan
Date September 2022	Signature 	Signature 

This report, and information or advice which it contains, is provided by JENNINGS O'DONOVAN & PARTNERS LIMITED solely for internal use and reliance by its Client in performance of JENNINGS O'DONOVAN & PARTNERS LIMITED's duties and liabilities under its contract with the Client. Any advice, opinions, or recommendations within this report should be read and relied upon only in the context of the report as a whole. The advice and opinions in this report are based upon the information made available to JENNINGS O'DONOVAN & PARTNERS LIMITED at the date of this report and on current standards, codes, technology and construction practices as at the date of this report. Following final delivery of this report to the Client, JENNINGS O'DONOVAN & PARTNERS LIMITED will have no further obligations or duty to advise the Client on any matters, including development affecting the information or advice provided in this report. This report has been prepared by JENNINGS O'DONOVAN & PARTNERS LIMITED in their professional capacity as Consulting Engineers. The contents of the report do not, in any way, purport to include any manner of legal advice or opinion. This report is prepared in accordance with the terms and conditions of JENNINGS O'DONOVAN & PARTNERS LIMITED contract with the Client. Regard should be had to those terms and conditions when considering and/or placing any reliance on this report. Should the Client wish to release this report to a Third Party for that party's reliance, JENNINGS O'DONOVAN & PARTNERS LIMITED may, at its discretion, agree to such release provided that:

- JENNINGS O'DONOVAN & PARTNERS LIMITED written agreement is obtained prior to such release, and
- By release of the report to the Third Party, that Third Party does not acquire any rights, contractual or otherwise, whatsoever against JENNINGS O'DONOVAN & PARTNERS LIMITED and JENNINGS O'DONOVAN & PARTNERS LIMITED, accordingly, assume no duties, liabilities or obligations to that Third Party, and
- JENNINGS O'DONOVAN & PARTNERS LIMITED accepts no responsibility for any loss or damage incurred by the Client or for any conflict of JENNINGS O'DONOVAN & PARTNERS LIMITED's interests arising out of the Client's release of this report to the Third Party.

Directors: D. Kiely, C. McCarthy

Regional Director: A. Phelan

Consultants: C. Birney, R. Gillan

Senior Associates: R. Davis, S. Gilmartin, J. Healy, S. Lee, J. McElvaney, T. McGloin, S. Molloy

Associates: B. Coyle, M. Forbes, D. Guilfoyle, L. McCormack, M. Sullivan

Company Reg No. 149104 **VAT Reg. No.** IE6546504D



MAYO COUNTY COUNCIL

BAT SURVEY REPORT

CONTENTS

1. INTRODUCTION..... 1

1.1 BACKGROUND..... 1

1.2 SITE LOCATION..... 1

1.3 PROPOSED WORKS 2

2. LEGISLATION..... 2

3. METHODOLOGY 3

4. RESULTS..... 3

4.1 POTENTIAL OF THE PROPOSED WORKS ON BATS..... 4

5. CONCLUSION & RECOMMENDATIONS 4

5.1 PROCEDURE IF BATS ARE DISCOVERED ON SITE..... 5

1. INTRODUCTION

1.1 BACKGROUND

Jennings O'Donovan & Partners Limited have been commissioned by Mayo County Council to carry out a Dusk/Dawn Bat Activity Survey for the proposed provision of Town Houses at Mount Street, Claremorris, Co. Mayo.

The purpose of this study was to assess the presence of bats at the proposed housing development. An initial site visit was carried out by an ecologist on the 23rd August 2022. Two potential bat roost sites were identified. Subsequently, it was recommended to confirm either the presence or likely absence of bats with further investigations. A Dusk/Dawn bat activity survey was proposed to ensure no bats are killed / injured or disturbed, and no bat roosts are destroyed / damage or modified during the construction or operation of the proposed housing development.

1.2 SITE LOCATION

The Proposed Housing Development is located along Mount Street and Regional road R320 in Claremorris, Co. Mayo (**Figure 2.1**).

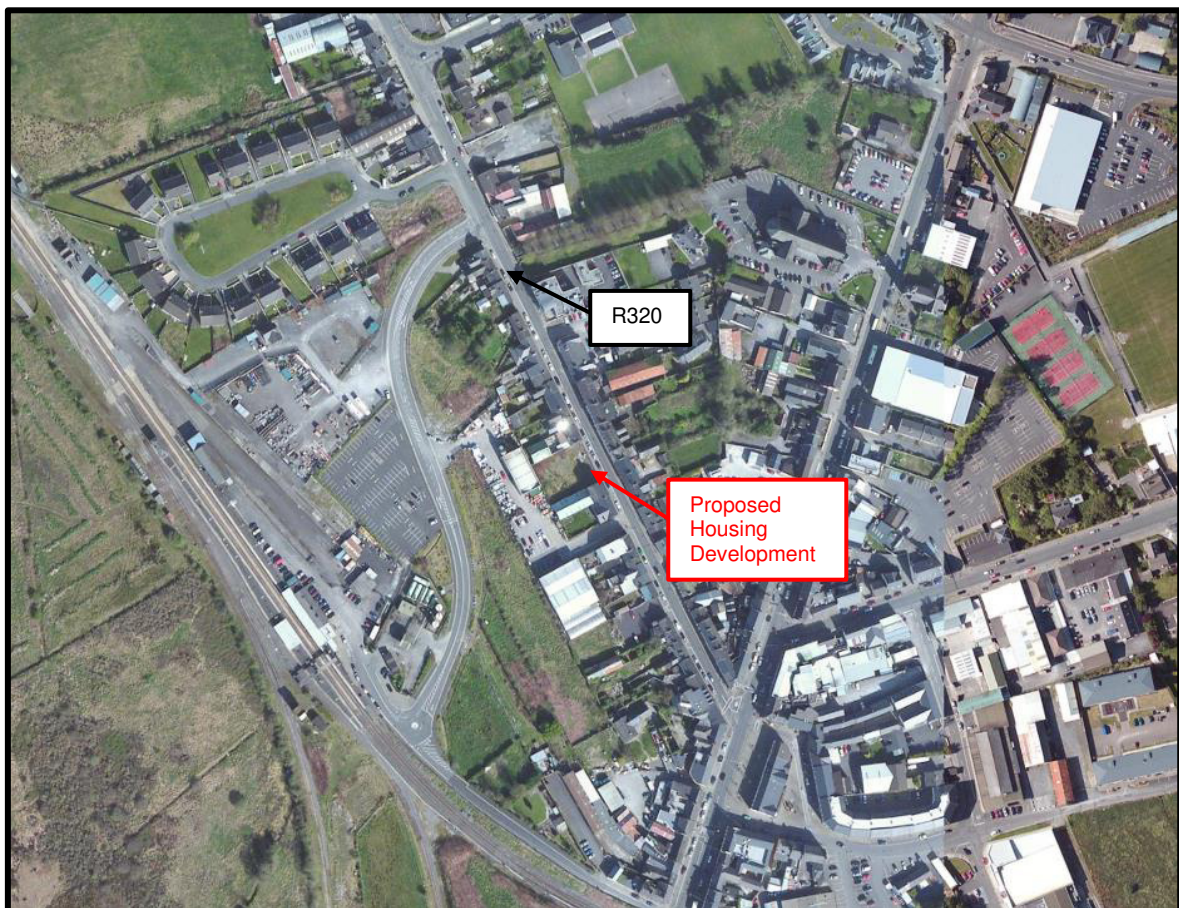


Figure 2.1 Location of the Proposed Housing Development

1.3 PROPOSED WORKS

The proposal is for a residential development consisting of the construction of 6 no. new residential units as follows:

- Four (numbers 1, 2, 3 & 4) no. 2 bedroom apartments in a single two storey block
- Two (numbers 5 & 6) no. 1 bedroom semi-detached houses
- All associated site development works including reinstatement of footpaths, boundary treatments, public lighting, site services, drainage works and all associated infrastructure

2. LEGISLATION

Irish Legislation

Wildlife Act 1976 – In the Republic of Ireland, under Schedule 5 of the Wildlife Act 1976¹ all bats and their roosts are protected by law. It is an offence to disturb either without the appropriate licence. This Act was further strengthened by the Wildlife Amendment Act 2000².

E.U. Legislation

Under the Habitats Directive 1992 (EEC 92/43)³, each member state of the E.U. was requested to identify habitats of national importance and priority species of flora and fauna. These habitats are now designated as Special Areas of Conservation (SAC). In Ireland, all bat species, except one are classified as Annex IV species under the Habitats Directive. Annex IV species are species in need of strict protection. The exception is the Lesser Horseshoe bat which is an Annex II species (Priority Species). Annex II species are species requiring the designation of Special Areas of Conservation specifically for their protection.

All species of bat in Ireland are strictly protected under the Habitats Directive to include deliberate disturbance of these species, particularly during the periods of breeding, rearing and hibernation. It also specifies deterioration or destruction of breeding or resting places.

International Legislation

Ireland has ratified two international wildlife laws pertaining to bats:

- (a) The Convention on the Conservation of European Wildlife and Natural Habitats (Bern Convention, 1982)⁴ – part of this convention stipulates that all bat species and their habitats are to be conserved.
- (b) The Convention on the Conservation of Migratory Species of Wild Animals (Bonn Convention 1979, Enacted 1983)⁵. This was instigated to protect migrant species across all European boundaries

¹ Wildlife Act 1976 pp 1-209. Dublin: Government Publications.

² Wildlife Amendment Act 2000. Dublin: Government Publications.

³ Council of the European Communities (1992). EC Directive on the Conservation of Natural Habitats and of Wild Fauna and Flora

⁴ Bern Convention (1982) Convention on the Conservation of European Wildlife and Natural Habitats.

⁵ Bonn Convention (1979) Convention on the Conservation of Migratory Species of Wild Animals. In particular: The Agreement on the Conservation of Populations of European Bats.

3. METHODOLOGY

The Survey work carried out in accordance with the methods set out in the Bat Conservation Trust's 'Bat Surveys for Professional Ecologists: Good Practice Guidelines' 3rd edition, (Collins, J. (ed) 2016). Two dusk emergence survey visit, and one dawn re-entry visit were undertaken.

The surveyor was equipped with an Anabat Walkabout full spectrum bat detector, which records bat calls directly onto an integral SD card. The bat recordings were analysed using Anabat Insight with the UK Bat Classify Auto Plugin.

Two surveyors were required to carry out the bat emergence/re-entry surveys, the dusk survey commenced 15 minutes before sunset and ran for two hours. The Dawn Survey commenced 1 hour 45 minutes before sunrise and ran 15 minutes after sunrise. The surveyors adopted the most optimal position for observing the potential bat roost features on site prior to the survey commencing.

Table 1. Survey Times for Claremorris Site

Date	Type	Duration	Weather conditions	Sunset/ Sunrise
29 th August 2022	Dusk Emergence Survey	20:15 – 22:20	16°C- 14°C, 35% Cloud, Light Wind.	20:32
14 th September 2022	Dusk Emergence Survey	19:35 – 21:45	14°C- 12°C, No wind, 35%-100% range in cloud cover.	19:52
29 th September 2022	Dawn Re-entry Survey	05:15 – 7:50	12°C, No wind, 10% -35% range in cloud cover	07:33

4. RESULTS

There is no evidence to date that the roof structures or surrounding wall infrastructure supports any bat roosts. The survey work identified that the overall site was occasionally used as a foraging resource by a small number of bats, namely Natters Bat (*Myotis nattereri*) and Soprano Pipistrelles (*Pipistrelle pygmeus*) see **Table 2**.

Table 2. Bat Activity observed at proposed Mount Street Housing Development Site, Claremorris, Co. Mayo

Date	Bat Activity Time	Bat Observations / Activity
29 th August 2022	21:37 22:13	A single Natters Bat (<i>Myotis nattereri</i>) was recorded briefly commuting and foraging around the scrub onsite. A single Natters Bat (<i>Myotis nattereri</i>) was recorded briefly commuting and foraging around the scrub onsite.
14 th September 2022	20:16	Two Soprano Pipistrelles (<i>Pipistrelle pygmeus</i>) were recorded briefly commuting through the site and foraging around the scrub onsite.
29 th September 2022	N/A	No bats were recorded on site.

4.1 POTENTIAL OF THE PROPOSED WORKS ON BATS

The results of the dawn emergence /dusk re-entry surveys provide strong supporting evidence in line with the Collins 2016 Guidelines that proposed development will likely not lead to the loss of any roosting sites for bats.

5. CONCLUSION & RECOMMENDATIONS

There is no evidence to date that the roof structures or surrounding wall infrastructures supports any bat roosts. Therefore, the works to be carried out are not likely to destroy/modify any bat roosts on site. There is evidence that the site is being used for foraging and commuting bats. Therefore, the following items are recommended:

- Any artificial lighting installed in the proposed housing development should be directional to reduce the impact to the bats which forage in the development area.
- Bat boxes could be installed to provide additional bat roost habitat.
- Any trees or shrub vegetation which is planted as part of the development should be native species as these species have higher associated assemblages of invertebrates. Such vegetation may provide a potential habitat foraging resource to compensate for the scrub which will be removed onsite during the construction works.

5.1 PROCEDURE IF BATS ARE DISCOVERED ON SITE

If bats are discovered during any of the future proposed works, work must stop immediately, and the local NPWS conservation ranger or bat specialist contacted. As previously discussed in the report, bats are legally protected. The protection makes it an offence to kill or injure bats, or to disturb them, and to destroy or damage / modify a bat roost. If any bats need to be removed, they may only be handled by a licenced bat worker. Bats should be removed to an alternative suitable location.