



BALLINA FLOOD RELIEF SCHEME

Environmental Impact Assessment Report Chapter 17: Material Assets: Land & Properties

MGW0290-RPS-EI-XX-R-EN-01700
Ch 17 Land & Properties
S4 P04
November 2024

Chapter 17: Material Assets: Land & Properties

Document status					
Version	Purpose of document	Authored by	Reviewed by	Approved by	Review date
S4.P04	Final for Submission	LC/JF	MH	JF	Nov 2024

Approval for issue	
PJG	20 November 2024

© Copyright RPS Group Limited. All rights reserved.

The report has been prepared for the exclusive use of our client and unless otherwise agreed in writing by RPS Group Limited no other party may use, make use of or rely on the contents of this report.

The report has been compiled using the resources agreed with the client and in accordance with the scope of work agreed with the client. No liability is accepted by RPS Group Limited for any use of this report, other than the purpose for which it was prepared.

RPS Group Limited accepts no responsibility for any documents or information supplied to RPS Group Limited by others and no legal liability arising from the use by others of opinions or data contained in this report. It is expressly stated that no independent verification of any documents or information supplied by others has been made.

RPS Group Limited has used reasonable skill, care and diligence in compiling this report and no warranty is provided as to the report’s accuracy.

No part of this report may be copied or reproduced, by any means, without the written permission of RPS Group Limited.

Prepared by:
RPS

Prepared for:
Mayo County Council

Dublin | Cork | Galway | Sligo
rpsgroup.com

RPS Group Limited, registered in Ireland No. 91911
RPS Consulting Engineers Limited, registered in Ireland No. 161581
RPS Planning & Environment Limited, registered in Ireland No. 160191
RPS Engineering Services Limited, registered in Ireland No. 99795
The Registered office of each of the above companies is West Pier Business Campus, Dun Laoghaire, Co. Dublin, A96 N6T7



Contents

ACRONYMS.....	IV
17 MATERIAL ASSETS: LAND & PROPERTIES	1
17.1 Introduction.....	1
17.2 Methodology.....	1
17.2.1 Legislation, Policy and Guidance.....	1
17.2.2 Zone of Influence	2
17.2.3 Sources of Information to Inform the Assessment.....	2
17.2.4 Key Parameters for Assessment	2
17.2.5 Assessment Criteria and Significance	2
17.2.6 Consultations	4
17.3 Description of the Existing Environment	5
17.3.1 Baseline Environment.....	5
17.3.2 Evolution of the Environment in the Absence of the Proposed Scheme	5
17.4 Description of the Likely Significant Effects	7
17.4.1 Construction Phase	7
17.4.2 Operational Phase	8
17.5 Mitigation Measures	41
17.5.1 Construction Phase	41
17.5.2 Operational Phase	41
17.6 Residual Impacts.....	41
17.7 Monitoring.....	42
17.7.1 Construction Phase	42
17.7.2 Operational Phase	42
17.8 Interactions and Cumulative Effects	42
17.9 Schedule of Environmental Commitments.....	42
17.10 Chapter References	43

Tables

Table 17-1 Summary of Key Data Sources for Material Assets: Land & Properties.....	2
Table 17-2: Definition of Terms relating to Environmental Sensitivity.....	3
Table 17-3: Definition of Terms Relating to Magnitude of Impact	3
Table 17-4: Definition of Terms relating to the Significance of Effect Levels	3
Table 17-5: Matrix used for the Assessment of the Significance of the Impact	4
Table 17-6: Assessment of the Impact of Land Take - River Brusna.....	12
Table 17-7 Assessment of the Impact of Land take – Bunree	19
Table 17-8: Assessment of the Impact of Land take – River Moy.....	32
Table 17-9: Assessment of the Impact of Land take – Quignamanger	36
Table 17-10: Assessment of the Impact of Land take – Tullyegan	39

Figures

Figure 17-1: Land Parcels Affected by the Proposed Scheme	6
Figure 17-2: Lands Affected by the Proposed Scheme along the Brusna Page 1	9
Figure 17-3 Lands Affected by the Proposed Scheme along the Brusna Page 2.....	10
Figure 17-4: Land Affected by the Proposed Scheme along the Brusna Page 3.....	11
Figure 17-5: Land Affected by the Proposed Scheme along the Bunree Page 1	15
Figure 17-6: Land Affected by the Proposed Scheme Along the Bunree Page 2	16
Figure 17-7: Land Affected by the Proposed Scheme Along the Bunree Page 3.....	17

Chapter 17: Material Assets: Land & Properties

Figure 17-8: Land Affected by the Proposed Scheme Along the Bunree Page 4	18
Figure 17-9: Land Affected by the Proposed Scheme along the Moy Page 1	26
Figure 17-10 Land Affected by the Proposed Scheme Along the Moy Page 2.....	27
Figure 17-11 Land Affected by the Proposed Scheme Along the Moy Page 3.....	28
Figure 17-12: Land Affected by the Proposed Scheme along the Moy Page 4	29
Figure 17-13 Land Affected by the Proposed Scheme along the Moy Page 5	30
Figure 17-14 Land Affected by the Proposed Scheme along the Moy Page 6	31
Figure 17-15: Land Affected by the Proposed Scheme along the Quignamanger Page 1	34
Figure 17-16: Land Affected by the Proposed Scheme Along the Quignamanger Page 2.....	35
Figure 17-17: Land Affected by the Proposed Scheme Along the Tullyegan	38

Chapter 17: Material Assets: Land & Properties

ACRONYMS

Term	Meaning
CDP	County Development Plan
CPO	Compulsory Purchase Order
DHPLG	Department of Housing, Planning and Local Government
EIA	Environmental Impact Assessment
EIAR	Environmental Impact Assessment Report
EPA	Environmental Protection Agency
ESB	Electricity Supply Board
MCC	Mayo County Council
PRAI	Property Registration Authority of Ireland
UE	Uisce Éireann,
ZOI	Zone of Influence

17 MATERIAL ASSETS: LAND & PROPERTIES

17.1 Introduction

This chapter of the Environmental Impact Assessment Report (EIAR) identifies, describes and presents an assessment of the likely significant effects of the proposed Ballina Flood Relief Scheme (hereafter referred to as the 'Proposed Scheme') on the topic of Material Assets: Land & Properties during both the construction and operational phases.

The term 'Material Assets' covers quite a wide scope as indicated in several key texts. The EPA *Guidelines on the Information to be contained in Environmental Impact Assessment Reports (2022)* states: "Material assets can now be taken to mean built services and infrastructure. Traffic is included because in effect traffic consumes transport infrastructure." It further lists "Built Services, Roads and Traffic, and Waste Management" as typical topics for consideration under material assets. In the 2014 EIA Directive, 'Land' is also introduced as a specific factor to be identified, described, and assessed in an EIA. The Department of Housing, Planning and Local Government (DHPLG) *Guidelines for Planning Authorities and An Bord Pleanála on carrying out Environmental Impact Assessment (2018)*, outlines that information to be submitted and assessed as part of an EIAR in respect of land should include details of 'land take' and land use requirements of the whole project during the construction and operational phases.

Given this wide scope, this EIAR has addressed 'Material Assets' through a number of separate chapters to ensure a robust consideration of Material Assets relevant to the Proposed Scheme. This chapter considers the potential impacts in relation to the land take associated with the Proposed Scheme. Other 'material assets' are addressed in **Chapter 16: Material Assets: Waste & Utilities**.

The assessment presented is informed by the following key chapters of the EIAR:

- **Chapter 5: Project Description**
- **Chapter 6: Traffic and Transportation:** Details of impacts relating to the road network and traffic movements.
- **Chapter 7: Population:** Details of impacts relating to community aspects such as residential amenity and accessibility and connectivity.
- **Chapter 8: Human Health:** Predicted health effects.
- **Chapter 16: Material Assets: Waste & Utilities:** Details of impacts on utilities/ built services, comprising electricity lines, water, foul sewer, and telecommunications infrastructure.
- **Chapter 19: Landscape and Visual:** Predicted visual intrusion and landscape effects, including on residential properties.

17.2 Methodology

17.2.1 Legislation, Policy and Guidance

Consideration has been given to the following relevant policy document in the preparation of this chapter:

- Mayo County Council (MCC) (2021) *Mayo County Development Plan 2022-2028*.

There is no specific legislation or guidance relating to the assessment of Material Assets: Land & Properties. The impact assessment has therefore followed the overall methodology and guidance relating to the EIA process and preparation as set out in **Section 1.5 of Chapter 1: Introduction**. The methodology and associated impact assessment have also had regard to the legislation and general guidance regarding the undertaking of an EIA as outlined in that chapter and as noted in **Section 17.1** above.

Chapter 17: Material Assets: Land & Properties

17.2.2 Zone of Influence

The zone of influence (Zol) for the land and properties assessment is all lands within the redline boundary including lands required, both temporary and permanent, including wayleaves and rights of way to deliver the Proposed Scheme and allow for its operation and maintenance.

17.2.3 Sources of Information to Inform the Assessment

This assessment of land and properties has been carried out by way of a combination of desk-based studies, public consultation days, landowner consultation, and site visits. A number of sources of information were used to inform the assessment as summarised in **Table 17-1**. Additionally, information was obtained directly from the affected landowners at public meetings and through a number of face-to-face meetings and property walkovers.

Table 17-1 Summary of Key Data Sources for Material Assets: Land & Properties

Title	Source	Year
Mayo County Development Plan (CDP)	Mayo County Council	2022-2028
GeoDirectory	Mayo County Council	2024
Planning Applications	Mayo County Council and MyPlan.ie	Dec 2018- Dec 2023
Project design mapping & project information, draft acquisition mapping and schedules.	Design Team	2024
Land registry / land ownership information	Tailte Éireann, formerly Property Registration Authority of Ireland (PRAI) and landowner consultation	2023
Orthophotography	Tailte Éireann, formerly Ordnance Survey Ireland	2024
Other aerial photography	Google Maps	2024
	Google Earth	2024
Landowner Consultation	In person consultation	July 2024
	Letter dissemination	Consultation ongoing

17.2.4 Key Parameters for Assessment

The following aspects were considered in assessing the potential effects that the Proposed Scheme will have in relation to land take.

- The extent of permanent land take to be acquired from properties including dwellings, commercial premises, property curtilage, property boundaries and accesses.
- The extent of temporary land take required to facilitate construction of the Proposed Scheme.
- The extent of wayleaves / rights of way required for construction and operation of the Proposed Scheme.

17.2.5 Assessment Criteria and Significance

The following tables (**Table 17-2** to **Table 17-5**) consider the sensitivity of the various properties, and the effects that a loss of landholding, amenity or severance may have on a property. The magnitude of impacts arising from the Proposed Scheme and the significance of impacts has also been considered. These assessments are broadly based on the requirements of the EPA Guidelines (2022).

Chapter 17: Material Assets: Land & Properties

Table 17-2: Definition of Terms Relating to Environmental Sensitivity

Sensitivity	Property
High	<ul style="list-style-type: none"> Occupied residential property. Occupied commercial property. Schools and hospitals/ health centres etc.
Medium	<ul style="list-style-type: none"> Unoccupied residential property Land zoned for development. Public open space/ recreational space Agricultural lands
Low	<ul style="list-style-type: none"> Derelict residential property Unzoned, vacant lands
Very Low	<ul style="list-style-type: none"> Roadbed/Footpath/ Road Verge

Table 17-3: Definition of Terms Relating to Magnitude of Impact

Magnitude of Impact	Property
High	Large land take and/or severance of the property where the use of the property cannot continue.
Medium	Large land take and/or severance of the property requiring a considerable and/or permanent change in current character/ practices; use of the property can continue.
Low	Small to moderate land take and/or severance. Small change in current character/ practices; use of the property can continue.
Very Low	Slight encroachment on the property that does not affect use of the property. No change in current character/practices

The definitions for significance, in **Table 17-4**, are as defined in the EPA Guidelines (2022) with a description of the criteria as it relates to properties. **Table 17-5** outlines the matrix used for assessing the significance of the impact, taking account of the sensitivity of the receptor and the magnitude of the impact. These are broad criteria and professional judgement has been used to apply them to individual properties.

Table 17-4: Definition of Terms relating to the Significance of Effect Levels

Significance of Impact	Definitions	
	EPA (2022) Guidelines Definition	Property
Imperceptible	An effect capable of measurement but without significant consequences.	Property and curtilage are not affected by the project, only roadbed/ road verge.
Not Significant	An effect which causes noticeable changes in the character of the environment but without significant consequences.	Development encroaches on landholding but without significant consequences.
Slight	An effect which causes noticeable changes in the character of the environment without affecting its sensitivities.	Development may encroach on a boundary causing a slight inconvenience but does not require a significant change to landholding or result in any significant reduction in landholding. Mitigation will overcome any impacts.
Moderate	An effect that alters the character of the environment in a manner that is consistent with existing and emerging baseline trends.	Development encroaches on more than one boundary of the site and/or encroaches on over 25% of the landholding/ curtilage only and/or is likely to modestly reduce the use of the site. Mitigation measures will overcome most impacts.

Chapter 17: Material Assets: Land & Properties

Significance of Impact	Definitions	
	EPA (2022) Guidelines Definition	Property
Significant	An effect which, by its character, magnitude, duration or intensity alters a sensitive aspect of the environment.	This impact will significantly reduce the size of the landholding by less than 40% and/or encroaches close to a sensitive building so as to substantially affect its use. Considerable mitigation measures will be required to address impacts and not all impacts may be mitigated fully.
Very Significant	An effect which, by its character, magnitude, duration or intensity, significantly alters most of a sensitive aspect of the environment.	This impact will significantly reduce the size of the landholding by over 40% and/or encroaches close to a sensitive building so as to significantly affect its use. Considerable mitigation measures will be required to address impacts and not all impacts may be mitigated fully.
Profound	An effect which obliterates sensitive characteristics.	The acquisition of an entire landholding to facilitate the Proposed Scheme. Demolition of an occupied property.

Table 17-5: Matrix used for the Assessment of the Significance of the Impact

		Magnitude of Impact			
		Very Low	Low	Medium	High
Sensitivity of Receptor	Very Low	Imperceptible	Imperceptible or Not Significant	Not Significant or Slight	Slight
	Low	Imperceptible or Not Significant	Not Significant or Slight	Slight	Slight or Moderate
	Medium	Not Significant	Not Significant or Slight	Moderate or Significant	Significant or Very Significant
	High	Not Significant	Slight or Moderate	Significant or Very Significant	Very Significant or Profound

17.2.6 Consultations

17.2.6.1 Stakeholder Engagement

Stakeholders of the Proposed Scheme were contacted in writing or via email with Microsoft Teams meetings and onsite meetings arranged with relevant parties. Four stakeholder consultations were completed in total between July 2020 and February 2023. Refer to **Chapter 3: Consultation** for details.

17.2.6.2 Landowner Engagement

Mayo County Council (MCC) have identified the owners and occupiers of all properties (residential and commercial) with which the Proposed Scheme will interact with on a temporary and/or permanent basis. A letter was distributed to all relevant landowners in July 2024 with details pertaining to the Proposed Scheme, its relation to their property, a series of associated mapping and contact details to encourage feedback. Consultation between MCC and the relevant landowners is ongoing. Comments and queries from stakeholders informed design and are addressed throughout this report and specifically in **Chapter 3: Consultation**.

Chapter 17: Material Assets: Land & Properties

17.2.6.3 Public Consultation

As part of the public consultation a series of consultation days have been held. In addition, project newsletters have been issued on a quarterly basis. To aid the consultation process a stand-alone website was set up at <https://www.floodinfo.ie/frs/en/ballina/home/>.

As reported in **Chapter 3: Consultation**, there were no comments relating to land take made during the public consultation process.

17.3 Description of the Existing Environment

17.3.1 Baseline Environment

The River Moy is roughly 100 km in length flowing from the Ox Mountains in County Sligo to the sea north of Ballina. The town is located just upstream of the Moy Estuary and the reach of the River Moy downstream of the Salmon Weir in Ballina is tidal. There are several tributaries of the River Moy flowing through the town including the Quignamanger Stream, Bunree Stream (known locally as the Behy Road Stream), Brusna River, Tullyegan Stream and Knockanelo Stream. The Proposed Scheme includes flood relief measures in Ballina for the River Moy and these tributaries, excluding the Knockanelo Stream which will be addressed as part of a separate project.

The study area for the Proposed Scheme is located within the town where there is a mix of land uses and activities typical of a town of this size including residential, retail, commercial, social, community and recreation. Outside of the urban area agriculture is the predominant land use.

There are approximately 50 no. landholdings directly affected by the Proposed Scheme (refer **Figure 17-1**). These include residential properties, commercial properties and lands owned by Irish Rail, the Electricity Supply Board (ESB), Uisce Éireann, MCC, the Western Health Board, the Northwestern Regional Fisheries Board. In addition, works will take place within the public domain on the roadbed/ road verge across various landholdings. This is denoted on **Figure 17-2** to **Figure 17-17** as 'public area'.

A single existing planning permission for a two storey dwellinghouse within the Proposed Scheme red line boundary that has not yet been implemented has been identified. The permitted development is considered in the assessment of effects in **Section 17.4**.

17.3.2 Evolution of the Environment in the Absence of the Proposed Scheme

Should the Proposed Scheme not proceed, conditions relating to material assets identified within the Material Assets (Land and Property) Zol will continue in line with baseline trends. Some general improvements/ changes in the area may be experienced due to legislative and local policy driven measures and mitigation. If the Proposed Scheme does not proceed, land and properties required for the Proposed Scheme will remain in existing use and flooding events and the consequences arising can be expected to continue to impact on land uses.

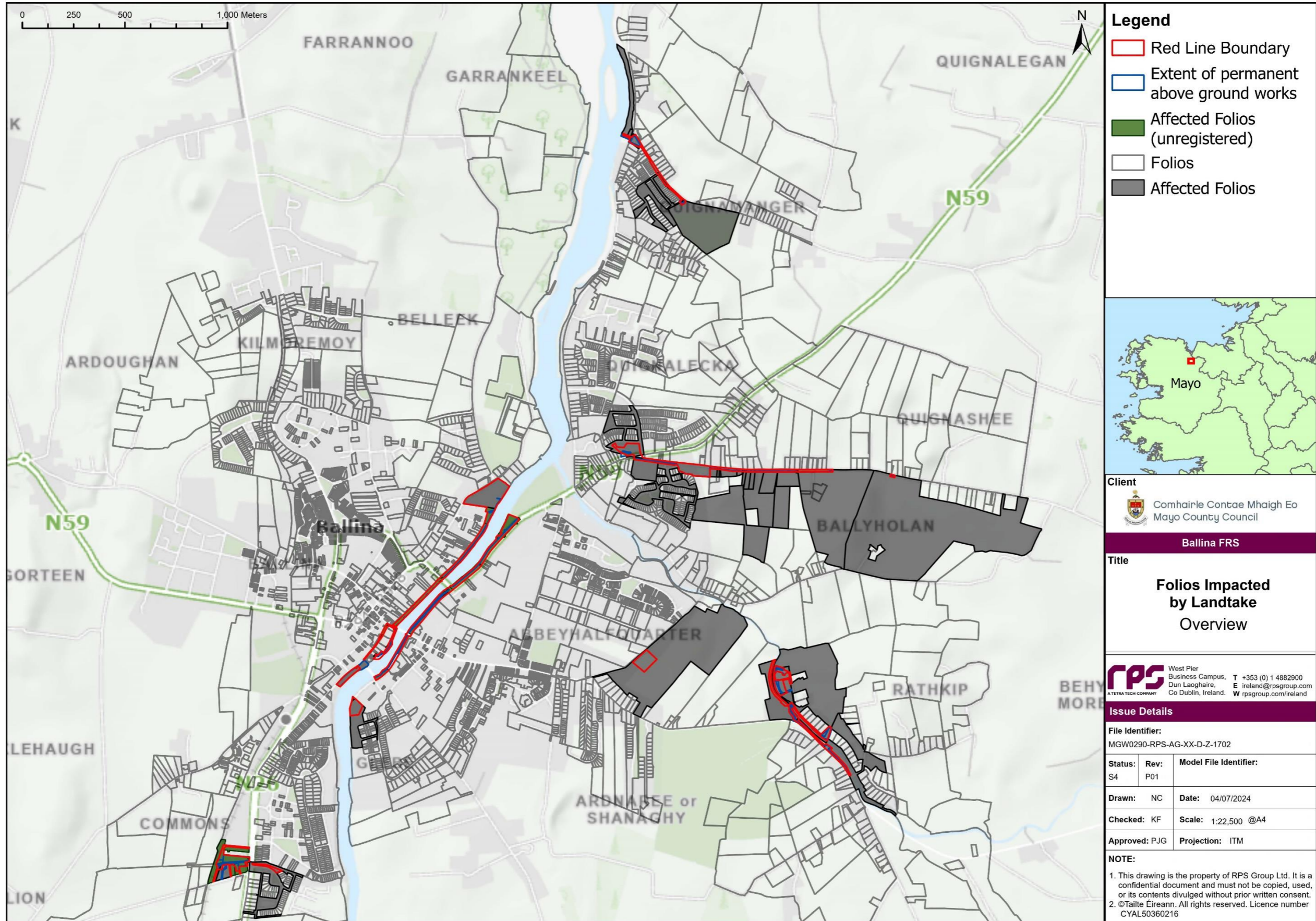


Figure 17-1: Land Parcels Affected by the Proposed Scheme

17.4 Description of the Likely Significant Effects

The effects of Proposed Scheme on properties are generally considered and assessed under these main headings:

- Temporary Land take
 - Temporary acquisition of those lands required for construction compounds for the duration of construction only.
 - Temporary working areas along the Proposed Scheme where additional space is required for the duration of construction only to facilitate the construction of permanent infrastructure.
- Permanent Land take
 - Permanent acquisition associated with new FRS infrastructure, and which include land take and / or severance which is permanent.
 - Permanent wayleave over the footprint of the new FRS infrastructure to ensure access can be facilitated during operation and maintenance period.
 - Permanent right of way through lands to access permanent wayleaves during operation and maintenance period.
- No Land take
 - Where works fall within private ownership but are confined to the public road, there is no requirement to acquire the lands.

The effects of the Proposed Scheme have been discussed with the individual landowners and/or their agents during design development.

Figure 17-2 through **Figure 17-17** outlines all lands which are directly impacted by the Proposed Scheme. The table outlines the land parcels subject to acquisition, wayleaves and rights of way.

17.4.1 Construction Phase

In effect, all of the land required (both temporary and permanent) to deliver the Proposed Scheme, will be acquired prior to construction and impacts will therefore commence at the construction stage.

17.4.1.1 Temporary Working Area

For lands temporarily required for construction, the principal construction impacts will be interruptions to property accesses (for example where a driveway might be resurfaced to align with new road levels) or temporary loss of use of a premises while works are underway. The effects of temporary access are primarily a function of the activity being undertaken on the property but also the property usage and the time of occurrence.

The temporary land take for the scheme consists of the temporary working area of 5.3ha from 20no. landholdings. An assessment of the impact of the temporary land take associated with the Proposed Scheme on property is presented in **Table 17-2** through **Table 17-4**.

Consultation with all potentially affected landowners is ongoing. Compulsory Purchase Order (CPO)/contractual agreements with those impacted will be in place prior to the commencement of the construction phase.

In addition, property may also be affected by construction traffic and associated impacts on visual and residential amenities during the construction stage as follows:

- **Construction Traffic:** There will be an increase in construction traffic along local roads during the construction phases of the Proposed Scheme, which has the potential to cause nuisance to existing local residential and commercial traffic.
- **Landscape/ Residential Amenity:** There will be changes to some residential views and amenity as a result of construction works.

Chapter 17: Material Assets: Land & Properties

These related construction impacts are assessed, along with measures to mitigate the effects, which are outlined throughout this EIAR but are contained mainly in **Chapter 6: Traffic & Transport**, **Chapter 7: Population**, **Chapter 8: Human Health** and **Chapter 19: Landscape & Visual**.

17.4.1.2 Permanent Acquisition

The Proposed Scheme will involve the permanent acquisition of land of approximately 0.85ha from 11 no. landholdings as shown in **Figure 17-2 through to 17-17**.

An assessment of the impact of the Proposed Scheme on properties is presented in **Table 17-7 to Table 17-10**.

The area of land required for the Proposed Scheme does not have a significant effect when considered at a national or regional level. However, from a local or individual perspective, land take can be significant. This is particularly the case for existing dwellings and commercial businesses. Consultation with all potentially affected landowners is ongoing. Compulsory Purchase Order (CPO)/contractual agreements with those impacted will be in place prior to the commencement of the construction phase.

With respect to land use, the Proposed Scheme is not considered to have a significant built footprint; the permanent loss of land use types including residential and commercial, is proportionately extremely low when considered in the context of the overall footprint.

17.4.1.3 Permanent Wayleaves / Rights of Way

The Proposed Scheme will involve the procurement of permanent wayleaves of approximately 2 ha from 37 no. landholdings and rights of way of approximately 0.3 ha from six no. landholdings. An assessment of the impact of the Proposed Scheme on properties is presented in through **Table 17-7 to table 17-10**. Consultation with all potentially affected landowners is ongoing. Compulsory Purchase Order (CPO)/contractual agreements with those impacted will be in place prior to the commencement of the construction phase.

17.4.2 Operational Phase

Consultation with all potentially affected landowners is ongoing. Compulsory Purchase Order (CPO)/contractual agreements with those impacted will be in place prior to the commencement of the construction phase.

Ongoing inspection and maintenance of the infrastructure will be facilitated primarily through lands or wayleaves permanently acquired for the Proposed Scheme. Access will have to be achieved through a right of way agreement across third party lands.

For the vast majority of landowners, the operational phase impacts are not significant. For 10. no. landowners slight to moderate operational phase impacts are predicted with regard to material assets: land take. For 3 no. landowners the impact is profound and CPO/contractual agreements will be made prior to the commencement of the construction phase.

Operational interrelated impacts in terms of traffic amenity, population, health and landscape and visual are assessed and the measures to mitigate the effects are outlined throughout this EIAR but are contained mainly in **Chapter 6: Traffic & Transport**, **Chapter 7: Population**, **Chapter 8: Human Health** and **Chapter 19: Landscape and Visual**.

Chapter 17: Material Assets: Land & Properties

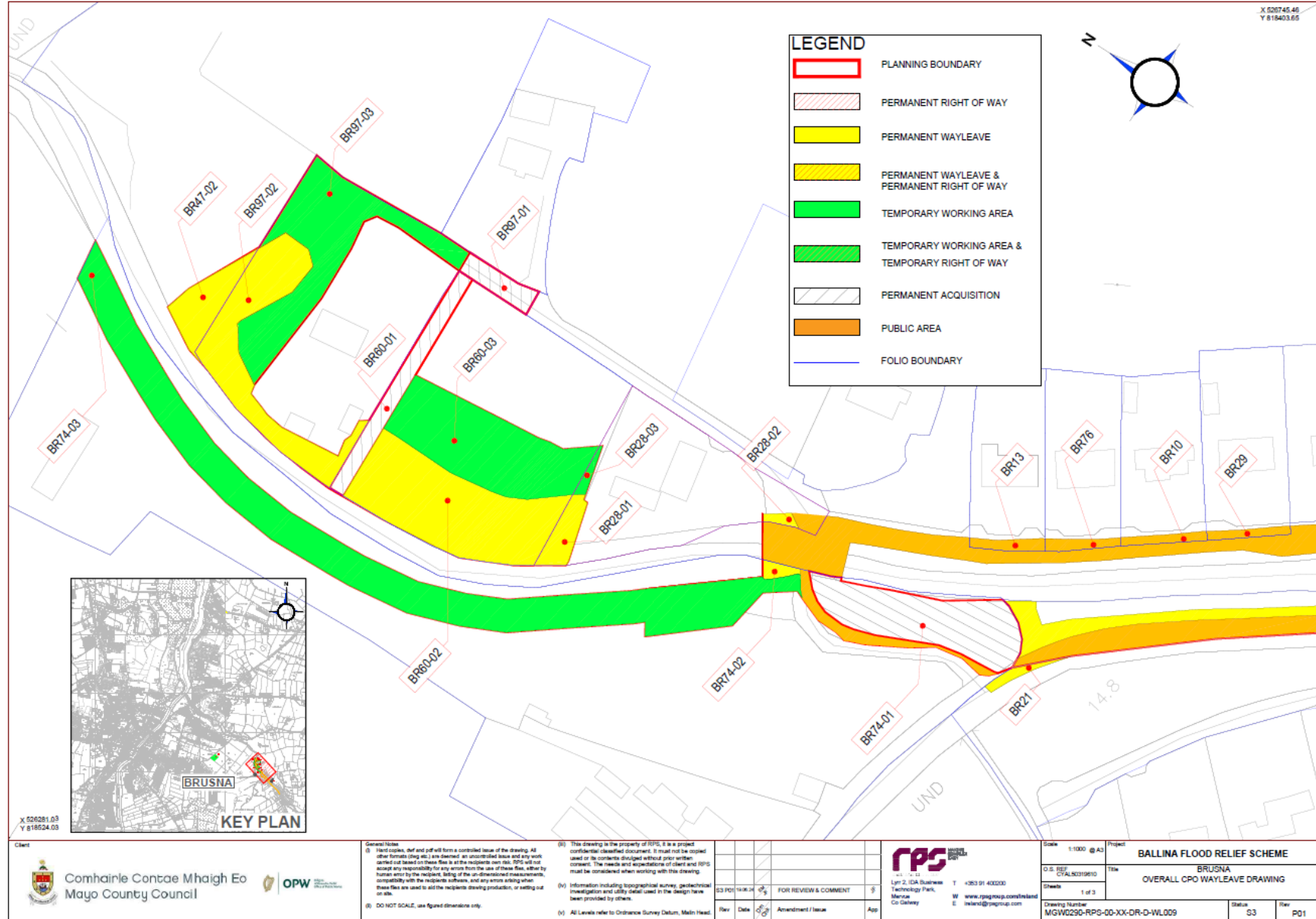


Figure 17-2: Lands Affected by the Proposed Scheme along the Brusna Page 1

<p>Comhairle Contae Mhaigh Eo Mayo County Council</p>	<p>OPW</p>	<p>General Notes</p> <p>(i) Hard copies, dxf and pdf will form a controlled issue of the drawing. All other formats (e.g. jpg, etc.) are deemed an uncontrolled issue and any work carried out based on these files is at the recipient's own risk. RPS will not accept any responsibility for any errors from the use of these files, either by human error by the recipient, listing of the un-dimensional measurements, incompatibility with the recipient's software, and any errors arising when these files are used to add the recipient's drawing production, or setting out of site.</p> <p>(ii) DO NOT SCALE, use figured dimensions only.</p>		<p>(iii) This drawing is the property of RPS. It is a project confidential classified document. It must not be copied, used or the contents divulged without prior written consent. The needs and expectations of client and RPS must be considered when working with this drawing.</p> <p>(iv) Information including topographical survey, geotechnical investigation and utility detail used in the design have been provided by others.</p> <p>(v) All Levels refer to Ordnance Survey Datum, Mean Head.</p>		<p>RPS Lyn 2, GSR Business Technology Park, Merida Co Galway T +353 91 400000 W www.rpsgroup.com/ireland ireland@rpsgroup.com</p>		<p>Scale 1:1000 @ A3</p>	<p>Project BALLINA FLOOD RELIEF SCHEME</p>						
		<p>Client</p>		<p>FOR REVIEW & COMMENT</p> <table border="1"> <tr> <th>Rev</th> <th>Date</th> <th>Amendment / Issue</th> <th>App</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>		Rev	Date	Amendment / Issue	App					<p>D.S. REF: CFALN0319810</p> <p>Drawn: 1 of 3</p> <p>Drawing Number: MGW0290-RPS-00-XX-DR-D-WL009</p>	
Rev	Date	Amendment / Issue	App												

Chapter 17: Material Assets: Land & Properties

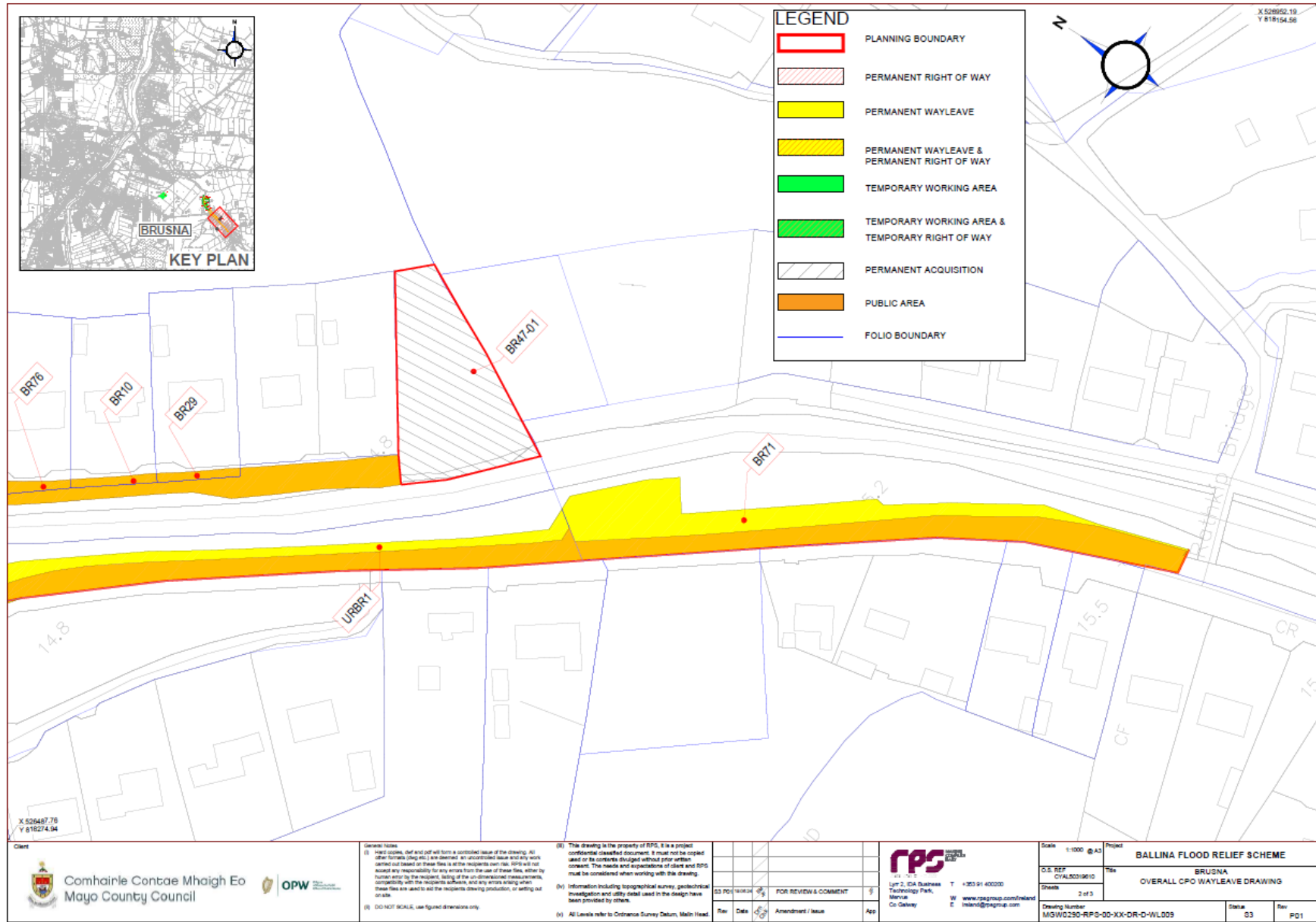


Figure 17-3 Lands Affected by the Proposed Scheme along the Brusna Page 2

Chapter 17: Material Assets: Land & Properties

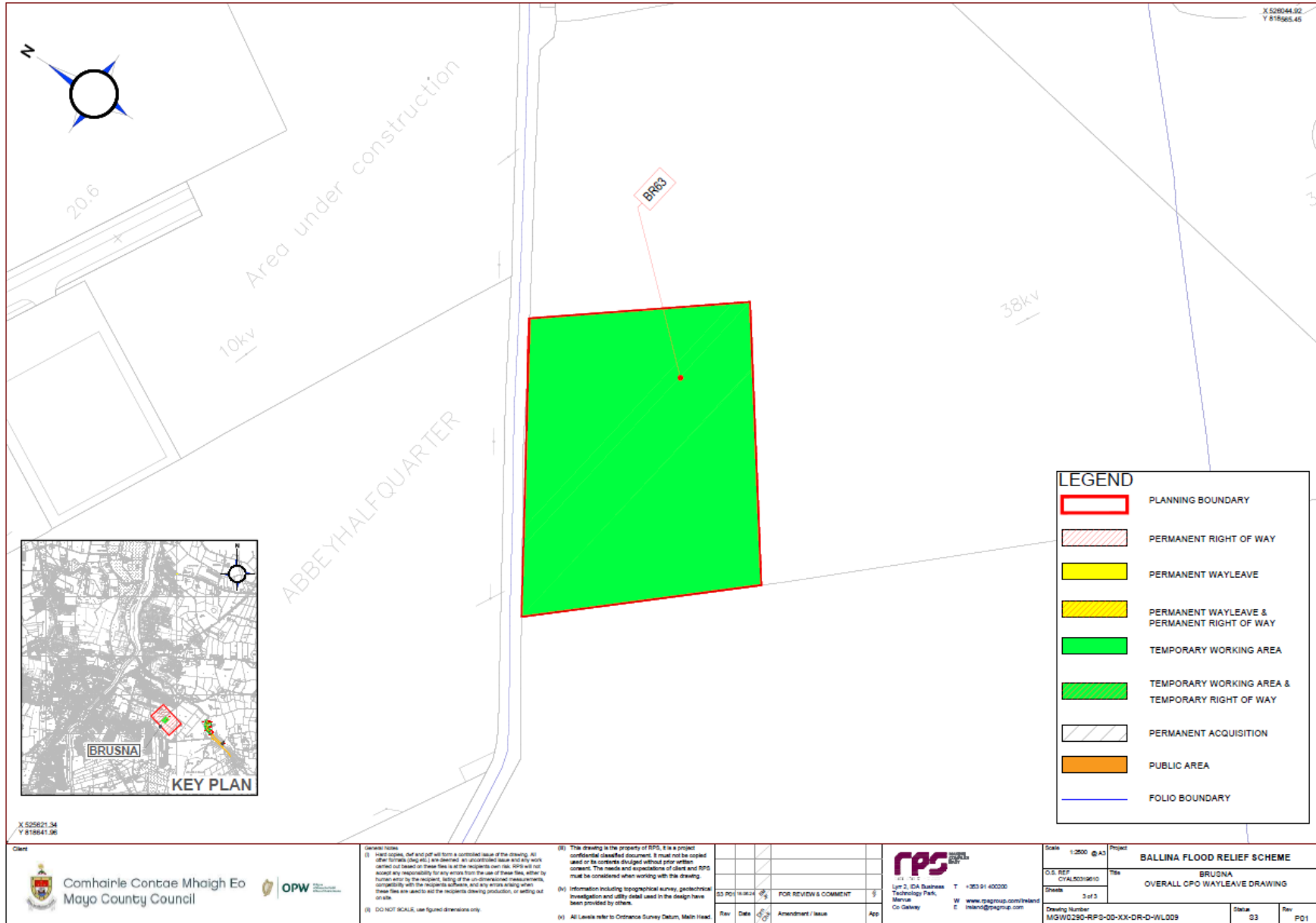


Figure 17-4: Land Affected by the Proposed Scheme along the Brusna Page 3

Chapter 17: Material Assets: Land & Properties

Table 17-6: Assessment of the Impact of Land Take - River Brusna

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
BR28	0.236		0.020		0.004	Residential	Permanent wayleave and temporary working area to facilitate construction of flood embankment/wall along to the northwest of the land parcel adjacent to the river. Property boundary to be removed and replaced. Access to be maintained to property during works.	High	Low	Slight	Reinstate to existing condition Reinstate/replace in agreement with landowner	Not Significant
BR47	8.313	0.188	0.030			Residential/ Agriculture	Permanent acquisition to construct and maintain 1 No. flood embankment. Permanent wayleave to construct 1 no. flood embankment (This section of land is within the garden of BR97) Boundary hedgerows to be removed and replaced.	High	Medium	Significant	Reinstate to existing condition	Moderate
BR60	0.485	0.039	0.142		0.121	Agriculture	Permanent wayleave to construct and maintain embankment within field. Strip of land to be acquired along the boundary of the	Medium	Medium	Moderate	Reinstate to existing condition	Slight

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
							property to facilitate access for maintenance post construction. New entrance to be constructed. Temporary working area required to facilitate works.					
BR63	15.074				0.629	Agriculture	Temporary working area over entire site to facilitate a construction compound.	Medium	Medium	Moderate	Reinstate to Existing condition	Imperceptible
BR71	3.580		0.125			Verge	Permanent wayleave to construct and maintain flood wall in verge off the Bunniconlon Road.	Very Low	Low	Not significant	Reinstate to existing or improved condition.	Imperceptible
BR74	2.021	0.098	0.005		0.274	Green Area/ Agriculture	Permanent acquisition to construct and maintain an embankment in green area. Permanent wayleave to construct and maintain works to existing bank retaining wall. Temporary working area to access and construct otter holt	Medium	Low	Not significant	Reinstate to existing condition	Imperceptible
BR97	0.465	0.017	0.098		0.124	Residential	Permanent wayleave to construct and maintain embankment within garden. Strip of land to be acquired to	High	Medium	Significant	Reinstate as agreed with landowner. Working hours to be agreed. Access to be facilitated	Moderate

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
							facilitate access to BR60 for maintenance post construction. Temporary working area required to facilitate works. Removal of landscaping within driveway					
URBR 1			0.071	0.071		Verge	Permanent wayleave to construct flood wall in verge off the Bunniconlon Road.	Very Low	Low	Not significant	Reinstate to existing or improved condition.	Imperceptible

Chapter 17: Material Assets: Land & Properties

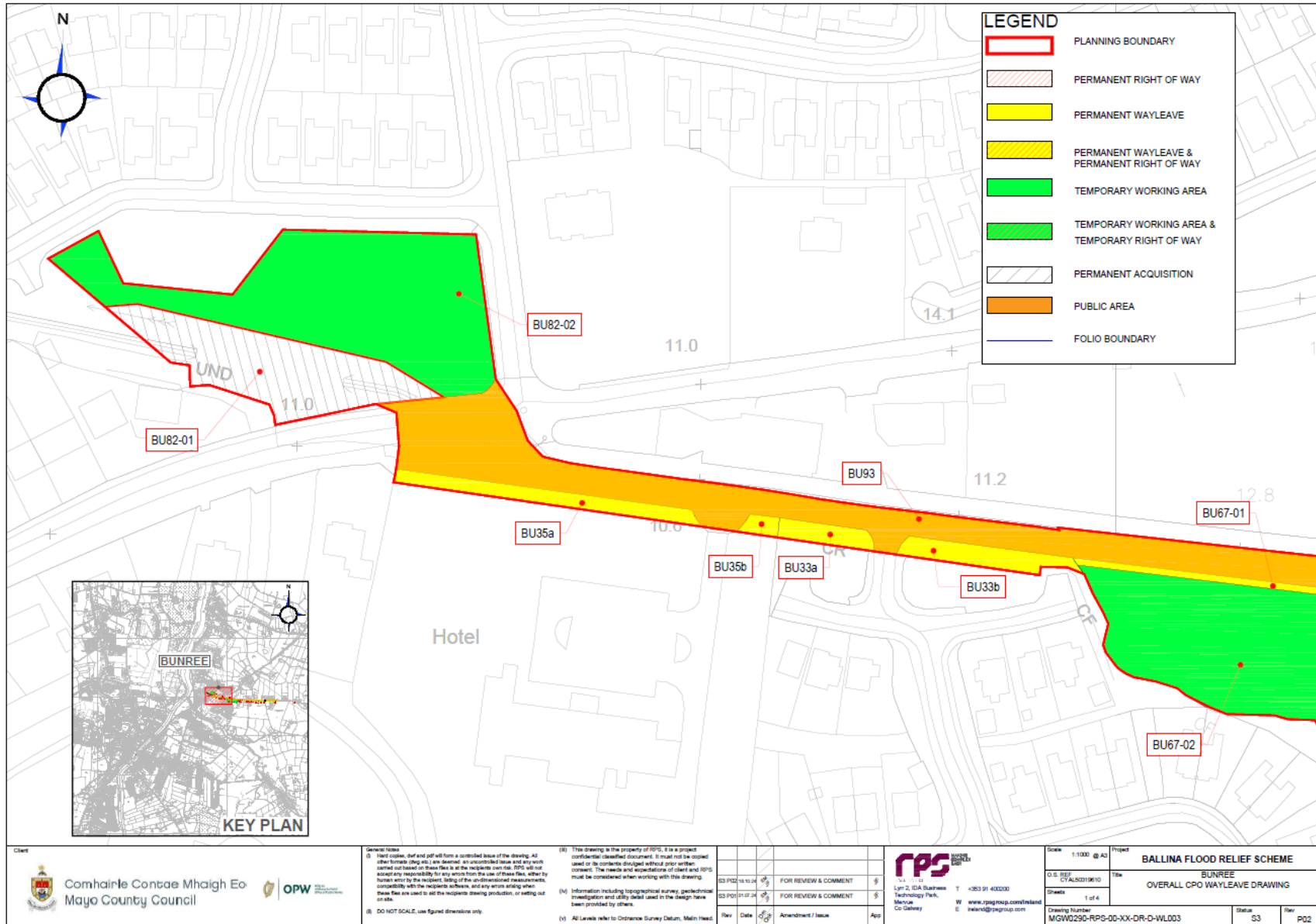


Figure 17-5: Land Affected by the Proposed Scheme along the Bunree Page 1

Chapter 17: Material Assets: Land & Properties

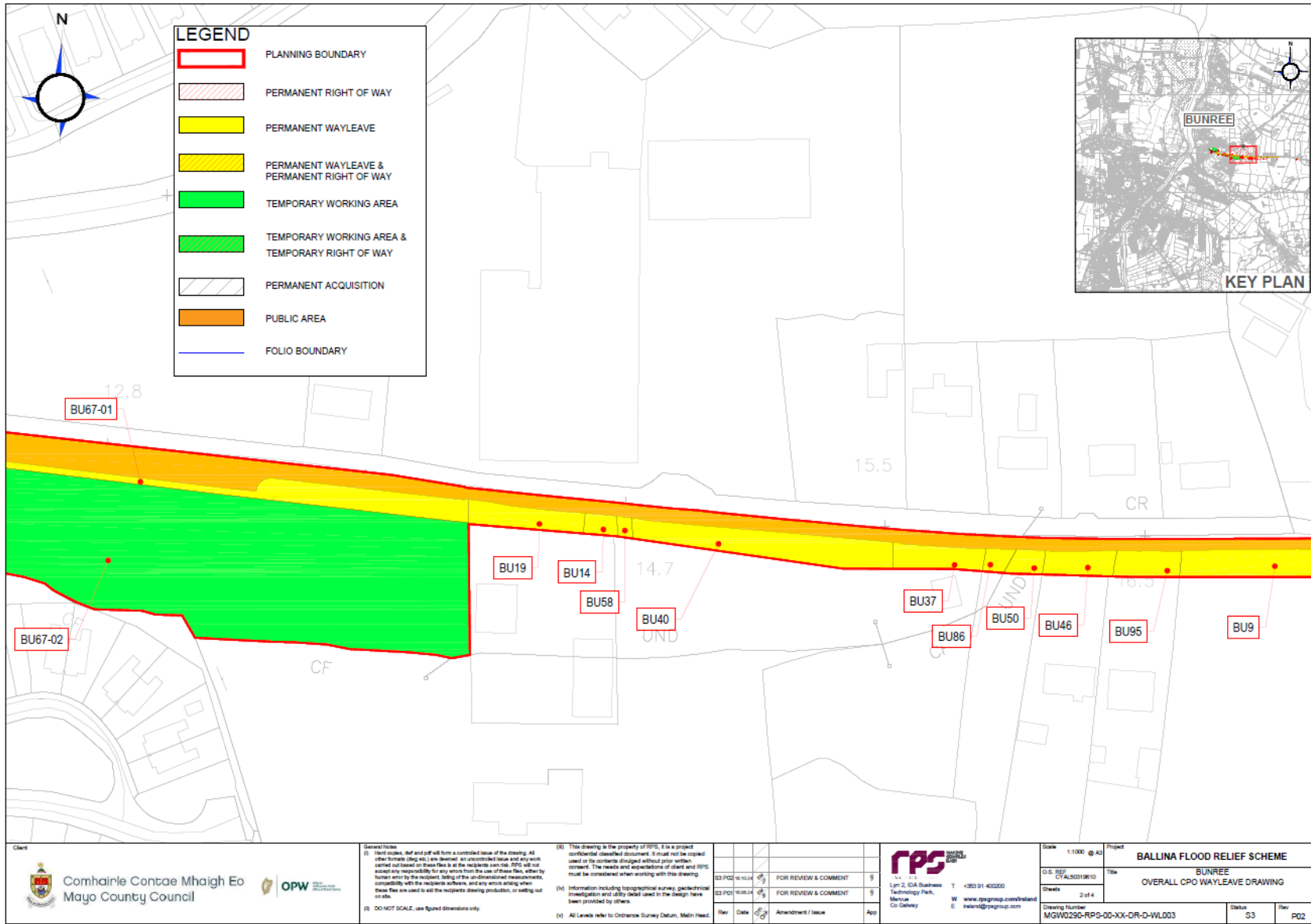


Figure 17-6: Land Affected by the Proposed Scheme Along the Bunree Page 2

Chapter 17: Material Assets: Land & Properties

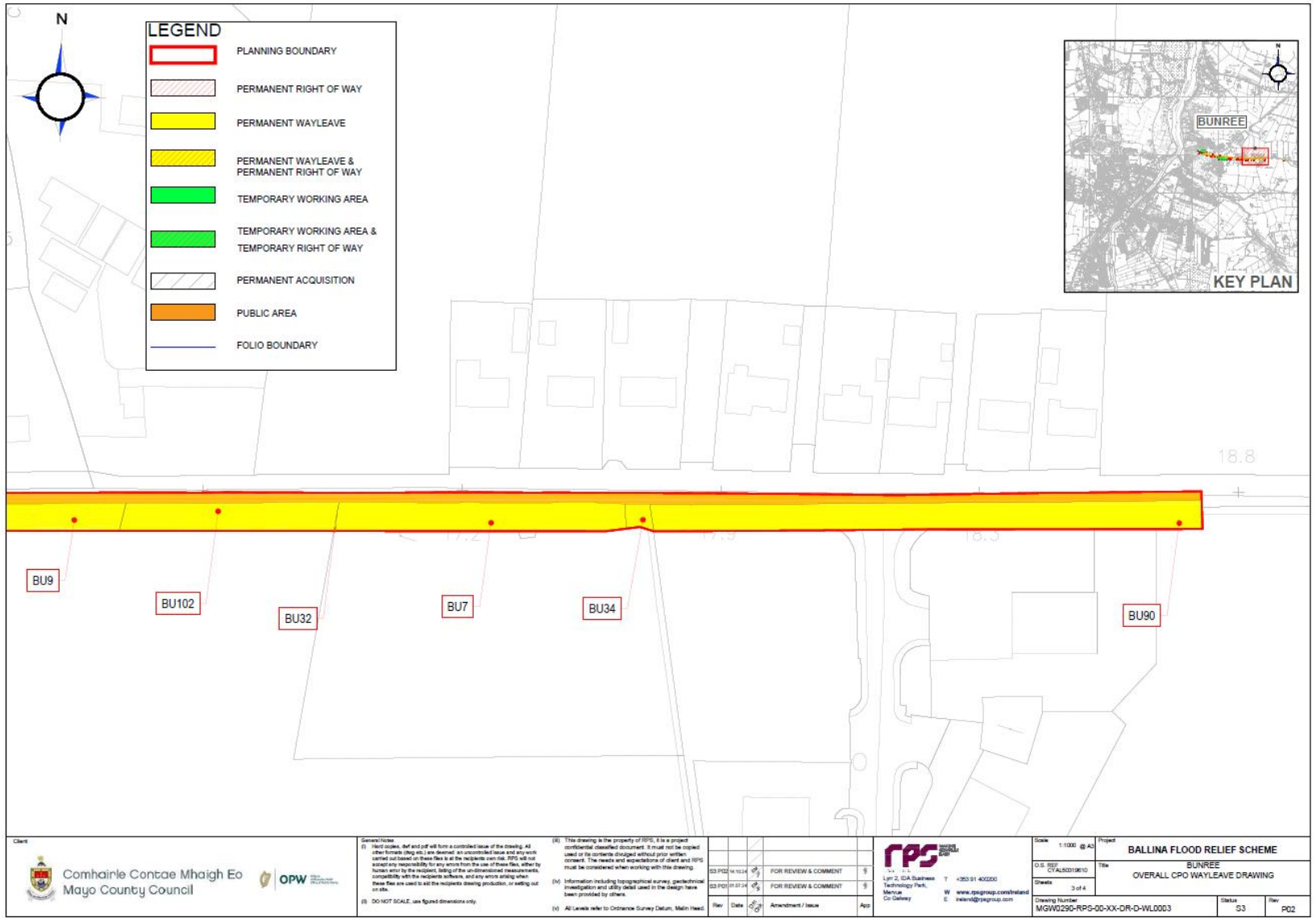


Figure 17-7: Land Affected by the Proposed Scheme Along the Bunree Page 3

Chapter 17: Material Assets: Land & Properties

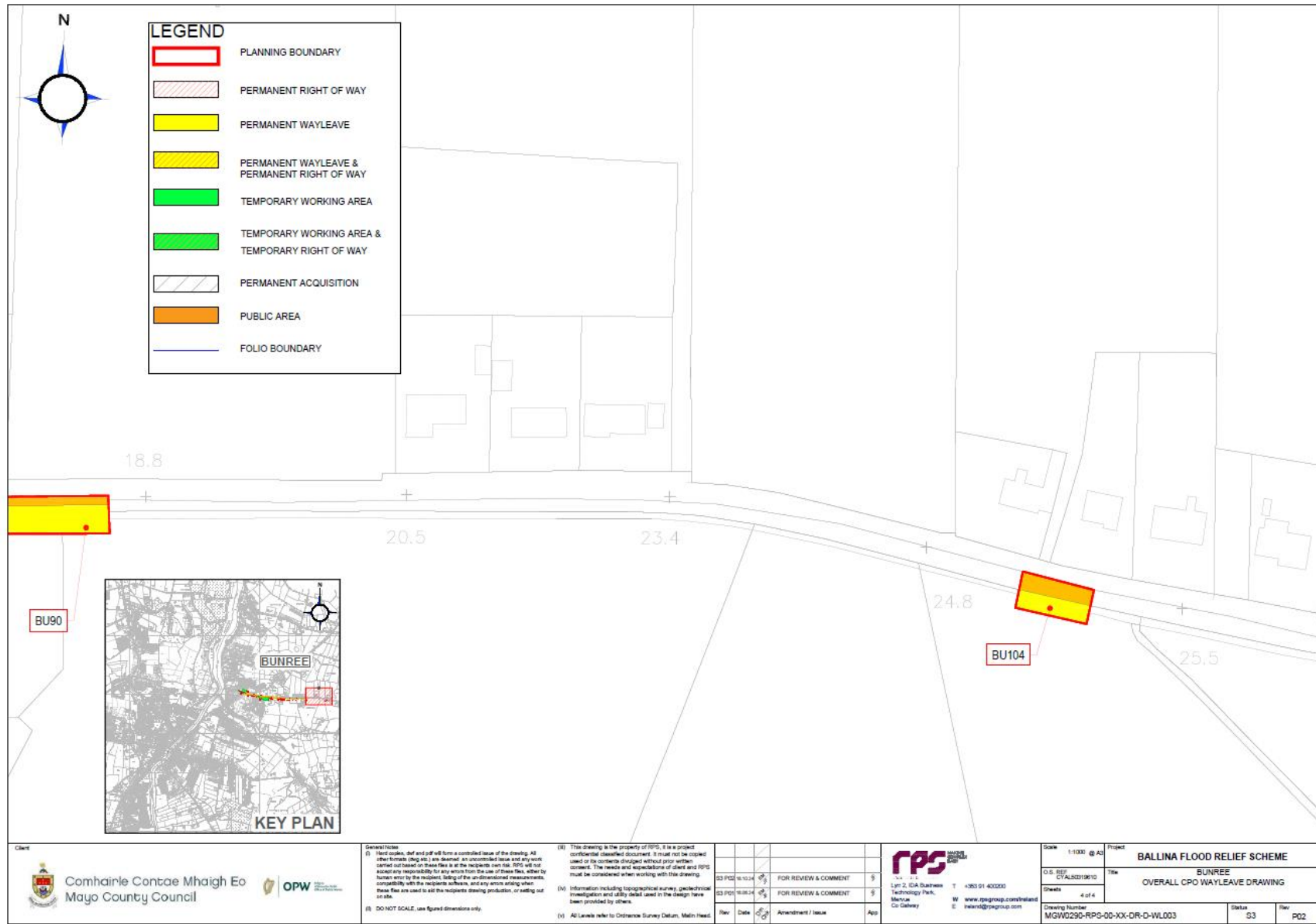


Figure 17-8: Land Affected by the Proposed Scheme Along the Bunree Page 4

Chapter 17: Material Assets: Land & Properties

Table 17-7 Assessment of the Impact of Land take – Bunree

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
BU82	2.122	0.159			0.371	Green space	Permanent acquisition and temporary working area required as existing open culvert to be replaced with larger culvert within private lands. Existing culverted section to be upgraded to open channel and fenced accordingly. Tree removal and replacement. Additional trees to be planted. Section of existing boundary hedge to be removed and replaced.	Medium	High	Significant	Reinstate to existing condition - boundary/ site Compensatory trees to be planted. Fencing at open section of channel to be provided	Moderate
BU35	1.267		0.048			Verge/ Public Road/ Commercial open Space	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing trees along verge to be removed and replaced. Existing boundary wall to be removed and replaced. Excavation will traverse the access to commercial estate, access to be maintained throughout the works and reinstated accordingly.	Medium	Very Low	Not Significant	Reinstate to existing condition - road/ boundary Reinstate access/ trees	Imperceptible
BU33	2.631		0.050			Verge/ Public Road/ Residential Open space	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing trees along verge to be removed and replaced. Existing boundary wall to be removed and replaced. Excavation will traverse the	Medium	Very Low	Not Significant	Reinstate to existing condition - road/ boundary wall Reinstate access	Imperceptible

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
							access to residential estate, access to be maintained throughout the works and reinstated accordingly.					
BU67	0.812		0.065		0.618	Path/ Verge/ Vacant Commercial	Temporary working area over entire site to facilitate a construction compound. Existing open drain/culvert to be replaced with larger culvert along existing alignment. Culvert works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing boundary wall to be removed and replaced. Existing trees in verge to be removed and replaced. Excavation will traverse the access of the property, access to be maintained throughout the works and reinstated accordingly. Site as a whole to be reinstated	Medium	Medium	Moderate	Temporarily acquire site for the works. Reinstate to existing condition - road/ boundary Reinstate access	Not Significant
BU19	0.168		0.024			Verge/ Public Road/ Commercial	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing boundary fence to be removed and replaced. Excavation will traverse the access of the property, access to be maintained throughout the works and reinstated accordingly.	High	Very Low	Not Significant	Reinstate to existing condition - road/ boundary fence Reinstate access	Imperceptible

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
BU14	0.052		0.006			Verge/ Public Road/ Commercial	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing boundary fence to be removed and replaced. Excavation will traverse the access of the property, access to be maintained throughout the works and reinstated accordingly.	High	Very Low	Slight	Reinstate to existing condition - road/ boundary fence Reinstate access	Imperceptible
BU58	0.031		0.003			Commercial	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond boundary to facilitate larger diameter culvert. Existing boundary fence to be removed and replaced. Excavation will traverse the access of the property, access to be maintained throughout the works and reinstated accordingly.	High	Very Low	Slight	Reinstate to existing condition - road/ boundary Reinstate access	Imperceptible
BU40	0.328		0.063			Commercial	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing boundary fence to be removed and replaced.	High	Very Low	Slight	Reinstate to existing condition - road/ boundary	Imperceptible
BU37	0.083		0.019			Verge/ Public Road/ Commercial	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as	High	Very Low	Slight	Reinstate to existing condition - road/ boundary Reinstate access	Imperceptible

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
							excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing boundary fence to be removed and replaced. Excavation will traverse the access to the property, access to be maintained throughout the works and reinstated accordingly.					
BU86	0.016		0.006			Verge/ Road/ Commercial	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing boundary fence/hedge to be removed and replaced. Excavation will traverse the access of the property, access to be maintained throughout the works.	Medium	Very Low	Not Significant	Reinstate to existing condition - road/ boundary Reinstate access	Imperceptible
BU50	5.373		0.008			Verge/ Public Road/ Commercial	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing boundary fence/hedge to be removed and replaced.	Medium	Very Low	Not Significant	Reinstate to existing condition - road/ boundary	Imperceptible
BU46	0.223		0.016			Verge/ Public Road/ Residential	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. No existing boundary wall/fence present. Excavation will traverse the	High	Low	Slight	Reinstate to existing condition - road/ boundary Reinstate access	Not significant

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
							access of the property, access to be maintained throughout the works and entrance walls and piers to be removed and reinstated accordingly.					
BU95	0.207		0.016			Verge/Residential / Public Road	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. No existing boundary wall/fence present. Excavation will traverse the access of the property, access to be maintained throughout the works and entrance walls and piers to be removed and reinstated accordingly.	High	Low	Slight	Reinstate to existing condition - road/ boundary Reinstate access	Not significant
BU9	2.310		0.037			Verge/ Agriculture/ Public Road	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing boundary fence/vegetation to be removed and replaced. Excavation will traverse the access of the property, access to be maintained throughout the works and reinstated accordingly.	Medium	Very Low	Not Significant	Reinstate to existing condition - road/ boundary Reinstate access	Imperceptible
BU10 2	0.808		0.058			Verge/ Public Road/ Commercial	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert.	High	Very Low	Not Significant	Reinstate to existing condition - road Reinstate access	Imperceptible

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
							No existing boundary wall/fence present. Excavation will traverse the access of the property, access to be maintained throughout the works and reinstated accordingly.					
BU7	0.863		0.079			Verge/ Public Road/ Agriculture	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Existing boundary hedge to be removed and replaced. Excavation will traverse the access of the property, access to be maintained throughout the works and reinstated accordingly. Electricity Pylon close to excavation, all ESB separation requirements to be adhered.	Medium	Very Low	Not Significant	Reinstate to existing condition - road/ boundary/ site Reinstate access Reinstate trees	Imperceptible
BU34	0.014		0.006			Verge/ Utility	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary close to pump house to facilitate larger diameter culvert. Excavation will traverse the pedestrian access to the pump house, access will be maintained throughout the works and reinstated accordingly. Existing water main connections to be maintained.	Medium	Very Low	Not Significant	Reinstate to existing condition - road/ boundary Reinstate access	Imperceptible
BU90	11.024		0.142			Verge/ Public Road/ Commercial	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Permanent wayleave required to construct and maintain the works along the private verge.	High	Very Low	Not Significant	Reinstate to existing condition - road/ boundary Reinstate access	Imperceptible

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
							Existing boundary fence/hedge to be removed and replaced. Excavation will traverse the access of the property, access to be maintained throughout the works and reinstated accordingly. Works are predominately within the public road/verge.					
BU10 4	0.090		0.013			Public Road / Verge/ Agriculture	Existing culvert to be replaced with larger culvert along entrance to property. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. Excavation will traverse the access of the property, access to be maintained throughout the works and reinstated accordingly.	Medium	Very Low	Not Significant	Reinstate to existing condition - road Reinstate access	Imperceptible
BU32	1.530		0.000			Verge/ Public Road/ Commercial	Existing open drain/culvert to be replaced with larger culvert along existing alignment. Works are predominately within the public road/verge. Permanent wayleave required as excavation will extend up to 4.5m beyond property boundary to facilitate larger diameter culvert. No existing boundary wall/fence present.	Medium	Very Low	Not Significant	Reinstate to existing condition - road	Imperceptible

Chapter 17: Material Assets: Land & Properties

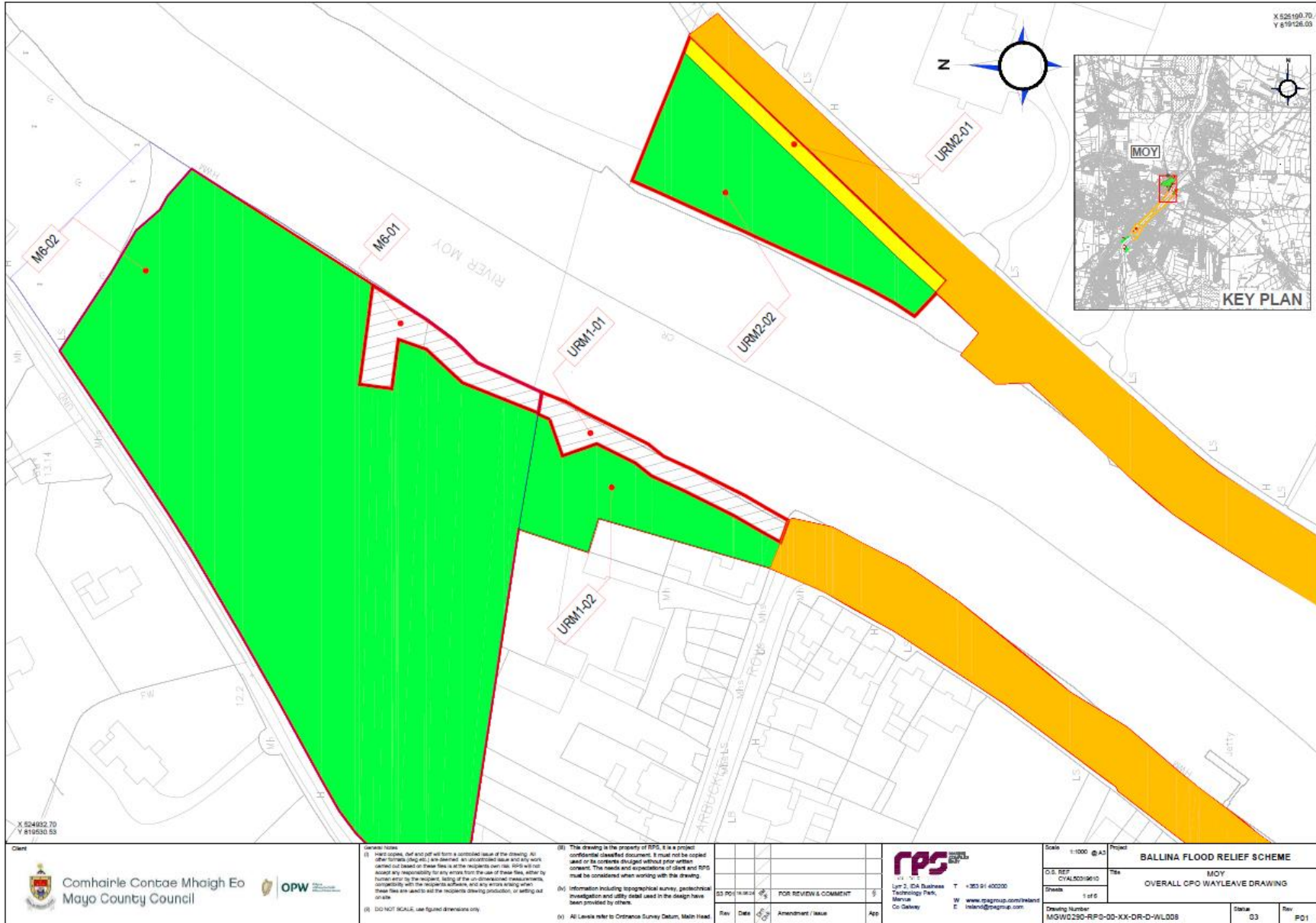


Figure 17-9: Land Affected by the Proposed Scheme along the Moy Page 1

Chapter 17: Material Assets: Land & Properties

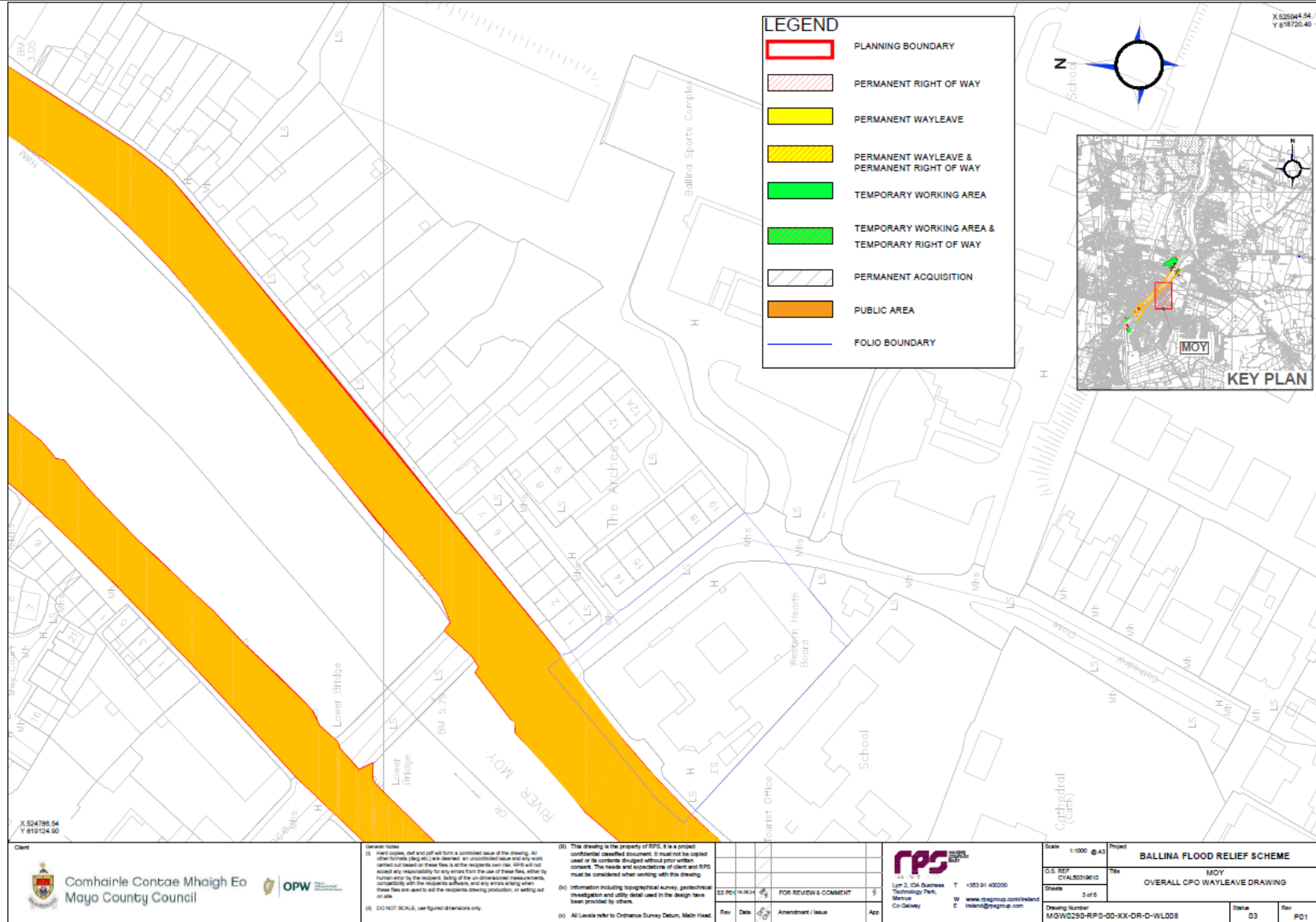


Figure 17-11 Land Affected by the Proposed Scheme Along the Moy Page 3

Chapter 17: Material Assets: Land & Properties

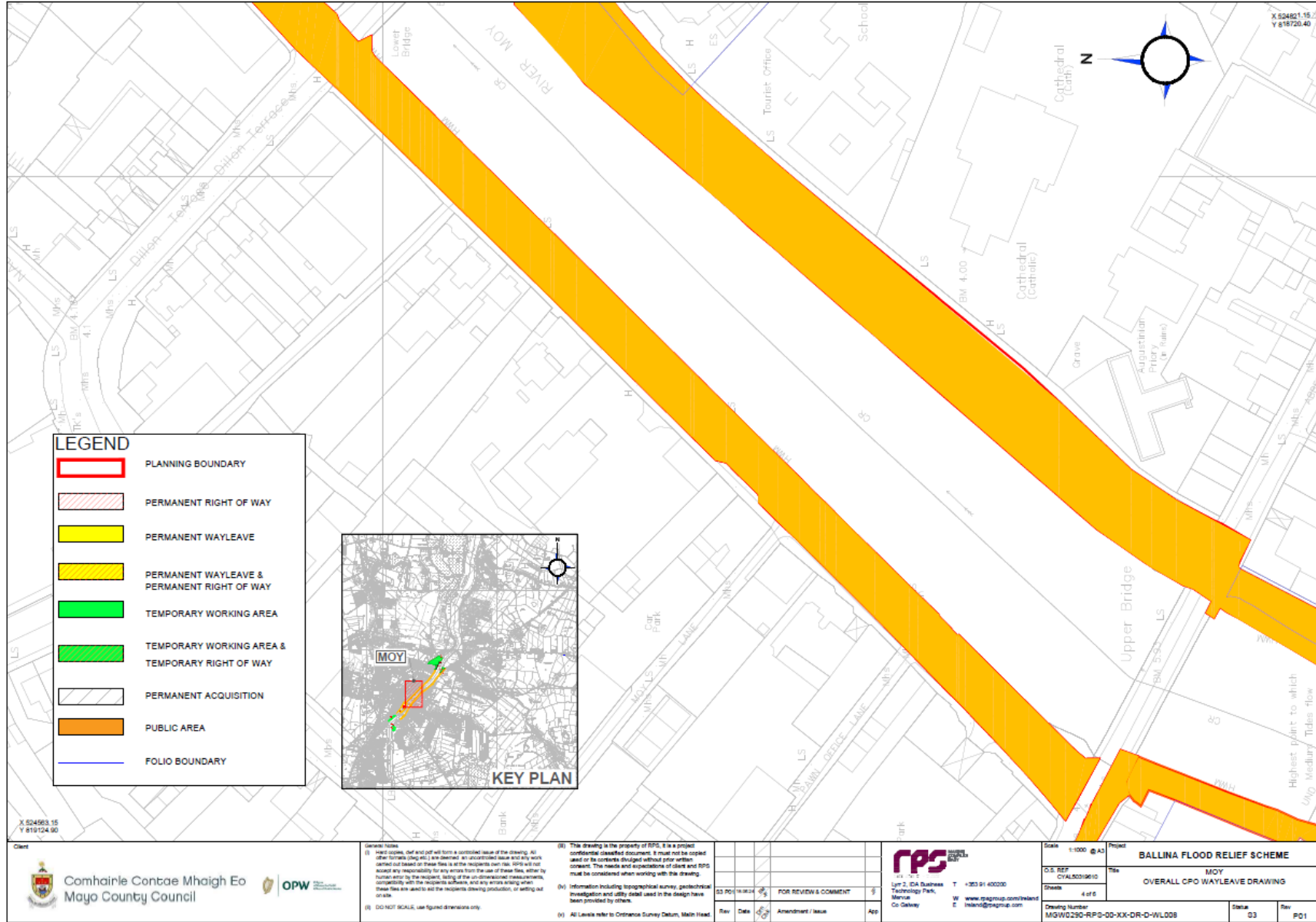


Figure 17-12: Land Affected by the Proposed Scheme along the Moy Page 4

Chapter 17: Material Assets: Land & Properties

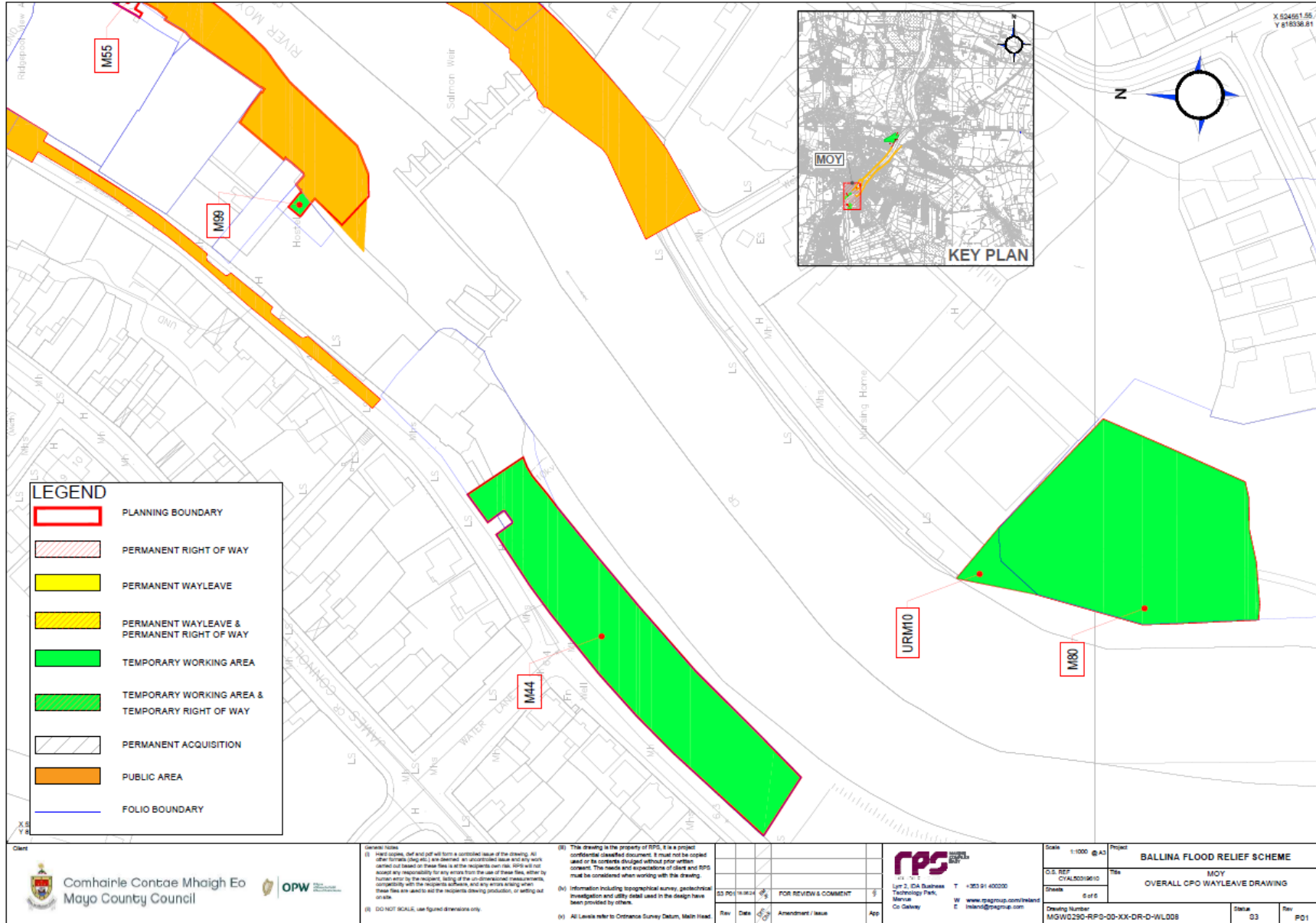


Figure 17-14 Land Affected by the Proposed Scheme along the Moy Page 6

Chapter 17: Material Assets: Land & Properties

Table 17-8: Assessment of the Impact of Land take – River Moy

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
M6	1.742	0.066			1.672	Commercial	Acquisition of land required for the construction and maintenance of the floodwall Temporary working area required for compound, existing buildings to be utilised for the works. New entrance to boat yard to be constructed. Access via the boat yard/ Belleek Road.	High	Medium	Significant	Site leased. Temporarily acquire site for the works. Reinstate to existing condition	Not Significant
URM 1		0.066			0.154	Commercial	Acquisition of land required for the construction and maintenance of the floodwall Temporary working area required for compound, existing buildings to be utilised for the works. Relocation of existing boat yard business	High	Medium	Very Significant	Temporarily acquire site for the works. Relocate boat yard to suitable site. Reinstate to existing condition. Rebuild slipway	Not Significant
M53	0.005	0.005				Riverfront/ Commercial	Temporary working area and permanent wayleave to facilitate construction of flood wall on riverbank. Glass wall to be provided as necessary to ensure no visual impact from building.	High	High	Profound		Profound (See Note 1)
M54	0.004	0.004				Riverfront/ Commercial	Temporary working area and permanent wayleave to facilitate construction of flood wall on riverbank. Glass wall to be provided as necessary to ensure no visual impact from building.	High	High	Profound		Profound (See Note 1)
M55	0.010	0.003				Riverfront/Commercial	Temporary working area and permanent wayleave to facilitate construction of flood wall on riverbank. Glass wall to be provided as necessary to ensure no visual impact from building.	High	High	Profound		Profound (See Note 1)
M99	0.014				0.003	Riverfront	Temporary working area to facilitate construction of flood wall on adjacent lands on riverbank. Glass wall to be provided as necessary to ensure no visual impact from building.	Medium	Low	Slight	Reinstate to existing or improved condition	Imperceptible
M44	0.424				0.293	Carpark	Temporary working area to facilitate a construction compound. Area not in use during works. to be reinstated	Medium	Medium	Moderate	Temporarily acquire site for the works. Reinstate to existing or improved condition	Imperceptible

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
M80	1.455				0.355	Carpark / Public Open Space	Temporary working area to facilitate a construction compound. Area not in use during works. to be reinstated	Medium	Medium	Moderate	Temporarily acquire site for the works. Reinstatement to existing condition	Imperceptible
URM 10					0.016	Carpark / Public Open Space	Temporary working area to facilitate a construction compound. Area not in use during works. to be reinstated	Medium	Medium	Moderate	Temporarily acquire site for the works. Reinstatement to existing condition	Imperceptible
URM 2			0.054		0.246	Open Space	Remove rendered wall and replace with stone clad flood wall (higher wall) Compensatory trees	Medium	Medium	Moderate	Reinstatement to existing condition	Not Significant

Note 1: Permanent and temporary land take will be dealt with by way of CPO/contractual agreement. This landowner agreement process is running in parallel to the planning decision process.

Chapter 17: Material Assets: Land & Properties

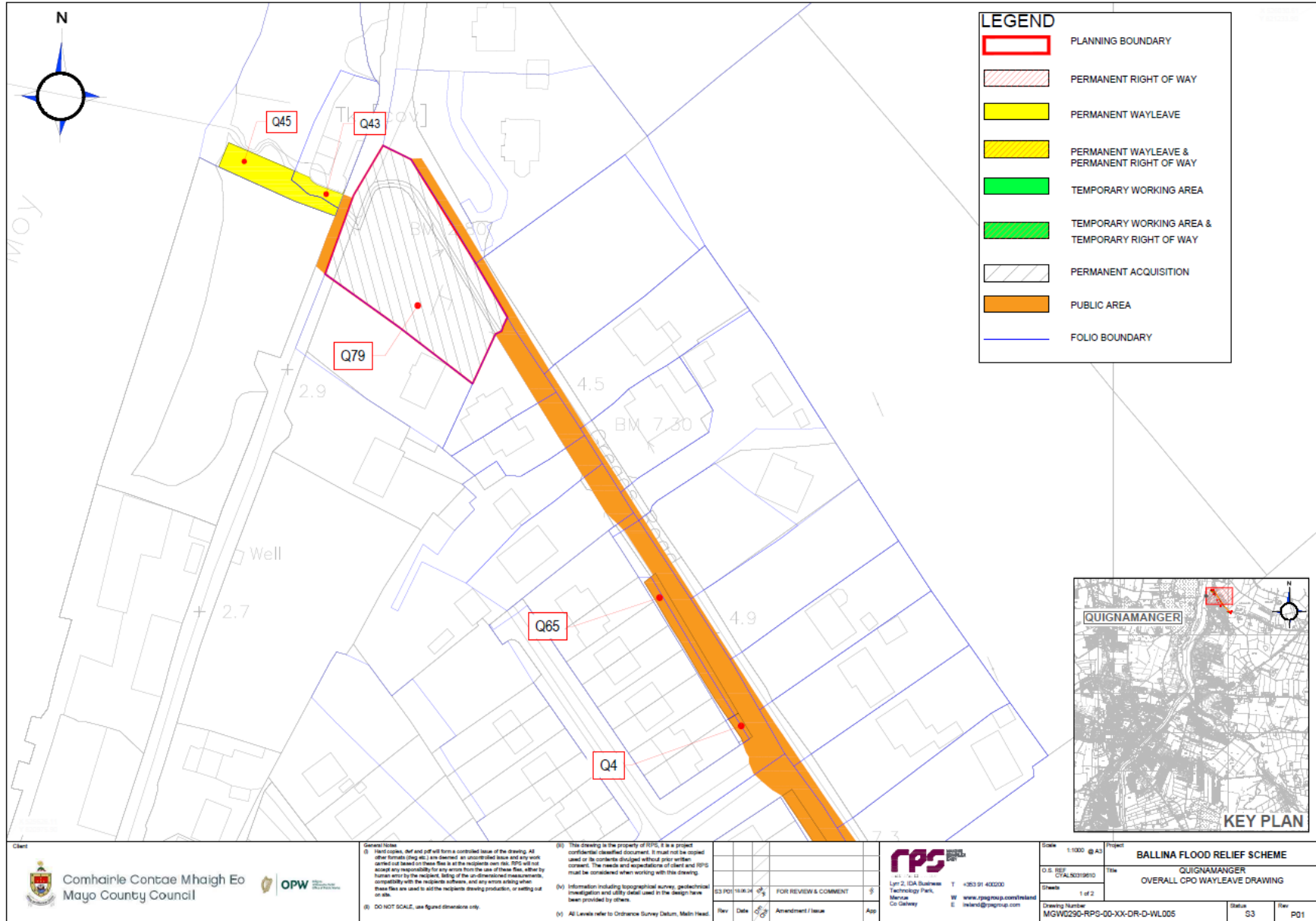


Figure 17-15: Land Affected by the Proposed Scheme along the Quignamanger Page 1

Chapter 17: Material Assets: Land & Properties

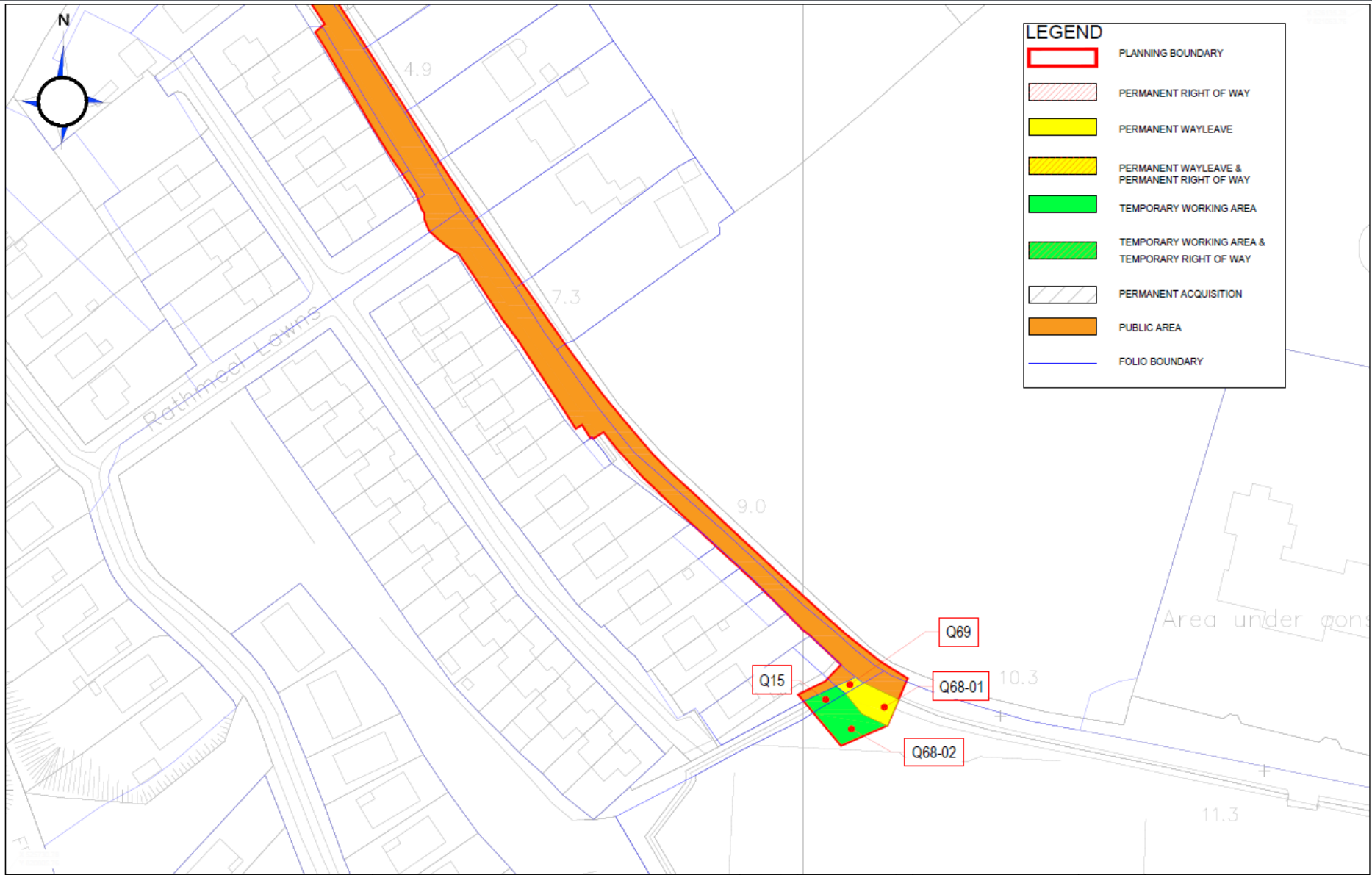


Figure 17-16: Land Affected by the Proposed Scheme Along the Quignamanger Page 2

Chapter 17: Material Assets: Land & Properties

Table 17-9: Assessment of the Impact of Land take – Quignamanger

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
Q79	0.206	0.205				Drainage Area/Public Road	Removal of existing and construction of flood wall along public road. Acquisition of land required for construction of flood wall within private land, connection of diversion culvert to existing open channel, site clearance, baffles at the channel outlet. Implementation of biodiversity and landscaping measures as per landscape design.	Low	High	Moderate	Removal of Scrub Implementation of biodiversity and landscaping measures as per landscape design	Moderate
Q45	0.991		0.025			Recreation / Amenity	Unused overgrown area. Permanent wayleave required for removal of existing culvert and to create an open channel in private land. Removal and replacement of existing boundary wall to tie is with proposed culvert under Quay Road	Medium	Low	Not significant	Reinstate to existing/ improved condition	Imperceptible
Q43	0.062		0.006			Uisce Éireann (UE) lands	Permanent wayleave required for removal of existing culvert and creating an open channel. Proposed works are located outside UE pumping station boundary wall. No impact on boundary wall.	Medium	Low	Not Significant	Reinstate to existing/ improved condition	Imperceptible
Q68	5.421		0.011		0.016	Rugby Club	Existing overflow culvert to be replaced with larger culvert along existing alignment. Permanent wayleave required for works within the rugby grounds. Existing boundary fence to be removed and replaced where culvert enters the road. Temporary working area required a within property boundary to facilitate construction.	Medium	Low	Slight	Reinstate to existing or improved condition	Imperceptible
Q69	0.002		0.002			Laneway	Existing overflow culvert to be replaced with larger culvert along existing alignment. Permanent wayleave required for works on the laneway to Rathmeel Lawns. Existing fence along laneway to be removed/replaced. Pedestrian access to Rathmeel lawns via laneway to be closed during works.	Very low	Very low	Imperceptible	Reinstate to existing or improved condition	Imperceptible
Q15	1.800				0.004	Public Road/ Laneway	Existing overflow culvert to be replaced with larger culvert along existing alignment. Works are within the public road and on the laneway to Rathmeel Lawns. Existing fence along laneway to be removed/replaced. Pedestrian access to Rathmeel lawns via laneway to be closed during works.	Very low	Very low	Imperceptible	Reinstate to existing condition - road/ laneway/ boundary	Imperceptible

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
							Access to Rathmeel lawns to be maintained throughout the works.					

Chapter 17: Material Assets: Land & Properties

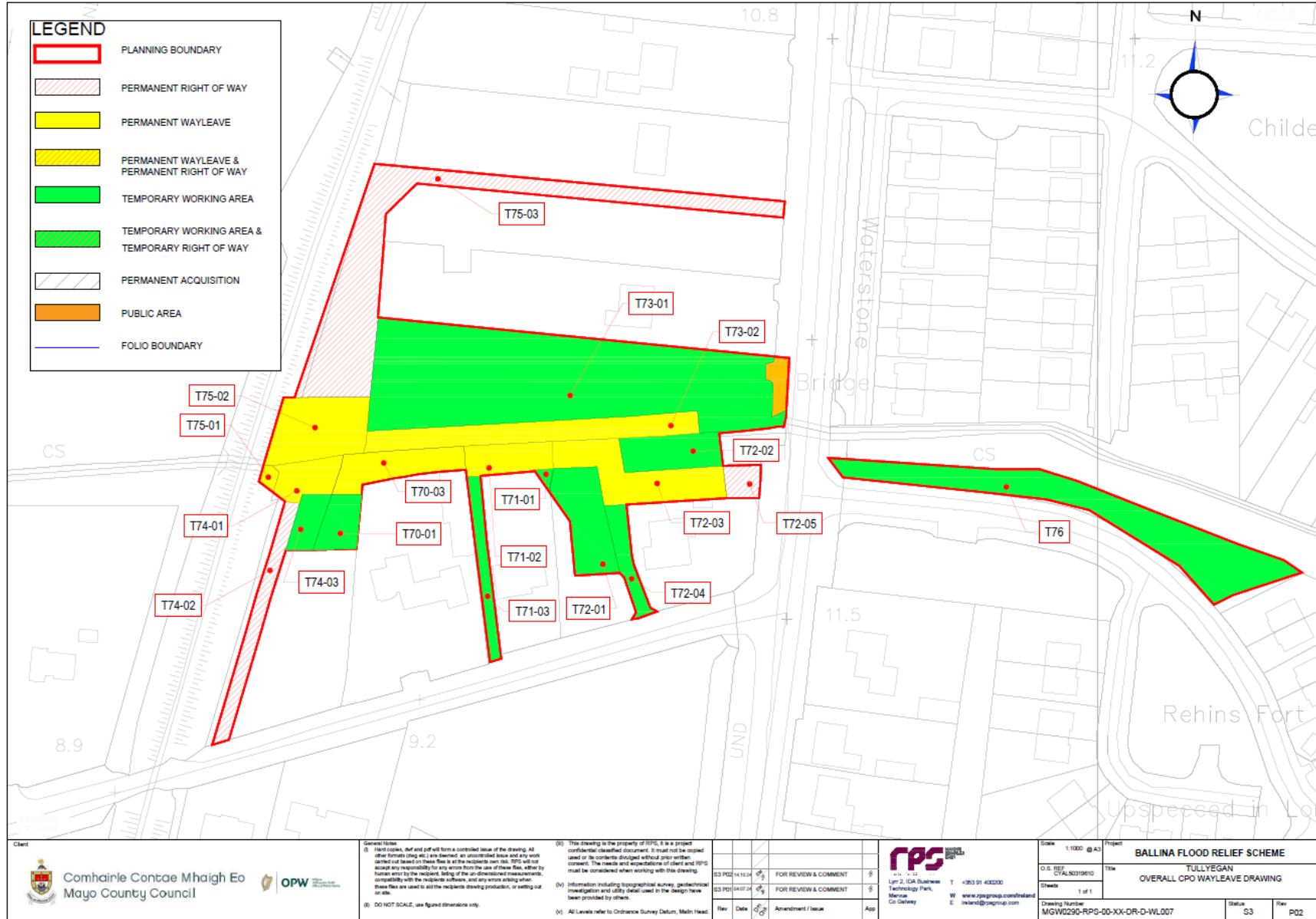


Figure 17-17: Land Affected by the Proposed Scheme Along the Tullyegan

Chapter 17: Material Assets: Land & Properties

Table 17-10: Assessment of the Impact of Land take – Tullyegan

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
T110	2.323					Public Open Space	Temporary working area to facilitate the planting of trees	Medium	Low	Not Significant	Reinstate to existing condition	Not Significant
T70	0.054		0.035		0.019	Residential	Permanent wayleave to construct flood wall along the boundary at the rear of the property. Existing boundary landscaping to be removed and reinstated. Temporary working area to facilitate construction. Planning permission granted for additional house (Ref. 2028) on 22/12/2020. Property noted as a B&B	High	Medium	Significant	Reinstate to existing condition. Working hours to be agreed. Access to be maintained during construction	Moderate
T75			0.058	0.167		Irish Rail	Permanent wayleave to construct an embankment along the Tullyegan and tie into railway embankment. RoW required to access the flood wall during construction and operation.	High	Low	Slight	Reinstate to existing condition	Slight
T73			0.067		0.330	Residential (Vacant)	Permanent wayleave to construct flood wall along residential property boundary. Existing boundary wall/landscaping to be removed and reinstated. Temporary working area required to facilitate works and to act as a construction compound	Medium	Medium	Moderate	Reinstate to existing condition	Slight
T74			0.022	0.035	0.015	Green Space / Residential planning	Permanent wayleave to construct flood wall along the boundary at the rear of the property. Existing boundary landscaping to be removed and reinstated. Right of way required along driveway/ through property to access the flood wall for construction/operational purposes. Access to property to be maintained at all times. Planning permission granted for additional house (Ref. 2028) on 22/12/2020.	High	Medium	Significant	Reinstate as agreed with landowner. Working hours to be agreed. Access to be maintained during construction	Slight
T71			0.024		0.024	Residential/ Commercial	Permanent wayleave to construct flood wall along the boundary at the rear of the property. Existing boundary landscaping to be removed and reinstated. Temporary Working Area along driveway/ through property to access the flood wall for construction. Access to property to be maintained at all time Property noted as a Montessori school	High	Medium	Significant	Reinstate as agreed with landowner. Working hours to be agreed. Access to be maintained during construction	Moderate

Chapter 17: Material Assets: Land & Properties

Ref.	Land Parcel Area (ha)	Permanent Land take Required (ha)	Permanent Wayleave Required (ha)	Permanent Right of Way Required (ha)	Temporary Land take Required (ha)	Land take Type	Description of Impact	Baseline Sensitivity Rating	Magnitude of Impact	Impact Pre-Mitigation	Mitigation (Other than Landowner/MCC agreements)	Residual Impact
T72			0.058	0.011	0.096	Residential	Permanent wayleave to construct flood wall along the boundary at the rear of the property. Back and side garden to be utilised to facilitate construction. Existing boundary landscaping to be removed and reinstated. Right of way required through side garden to access the flood wall for operational purposes. Permanent gate to be provided. Access to property to be maintained at all time	High	Medium	Significant	Reinstate as agreed with landowner. Working hours to be agreed. Access to be maintained during construction	Moderate

17.5 Mitigation Measures

17.5.1 Construction Phase

Mitigation by avoidance of negative effects on property has been a priority at the design stage of the Proposed Scheme. This is considered fully in **Chapter 4: Assessment of Alternatives**. As outlined in **Section 17.4** the Proposed Scheme will necessitate land take.

A number of measures will be implemented as required to further mitigate effects as follows:

Mitigation measures regarding traffic and transport, population, health and landscape and visual are outlined in **Chapter 6: Traffic and Transportation**, **Chapter 7: Population**, **Chapter 8: Human Health**, and **Chapter 19: Landscape and Visual** of the EIAR respectively. The implementation of these measures, together with the specific measures detailed in **Table 17-6** to **Table 17-10** for individual properties, will ensure that the potential effects will not be significant from a property perspective;

- Existing accesses to property, including homes and businesses, will be maintained during construction of the Proposed Scheme; otherwise, reasonable temporary access will be provided.
- Where necessary, suitable boundary fencing will be erected for the duration of the works. Any necessary permanent restoration of fences, walls, or hedges will be completed without unreasonable delay after works have concluded in the area.
- All lands temporarily acquired, will be re-instated to pre-construction conditions unless otherwise agreed with the landowner.
- Boundary treatment for all lands permanently acquired will be provided to mirror pre-construction conditions unless otherwise agreed with the landowner.

Consultation with relevant landowners is ongoing and where instances of temporary or permanent land take is required, CPO/contractual agreements will be in place between MCC and the relevant landowners, prior to the commencement of the construction phase.

Mitigation measures specific to particular landholdings are as outlined in **Table 17-6** to **Table 17-10**.

17.5.2 Operational Phase

Similar to the construction mitigation measures mentioned previously, operational mitigation measures have been considered on an individual property basis and details of these measures are shown in the individual assessments in

Table 17-6 to **Table 17-10**. There are a number of measures that will be implemented across all properties, where required, and these are outlined as follows:

- Land take will be dealt with by way of contractual agreements. The details of any individual agreement will be private and confidential and therefore are not specified or detailed in this EIAR.
- Where required, suitable fencing/ boundary treatment shall be erected along the Proposed Scheme.
- The maintenance and replacement of Proposed Scheme boundary fencing (where required) will be the responsibility of the local authority.
- Prior notice of any maintenance access requirements (via wayleave) will be given to landowners.

17.6 Residual Impacts

The projected residual impacts following mitigation are presented in **Table 17-6** to **Table 17-10**.

17.7 Monitoring

17.7.1 Construction Phase

No specific monitoring is required.

17.7.2 Operational Phase

No specific monitoring is required.

17.8 Interactions and Cumulative Effects

Inter-relationships are the impacts and associated effects of different aspects of the Proposed Scheme on the same receptor. The potential for cumulative effects has been considered for the construction and operation of the Proposed Scheme cumulatively with other projects. Please see **Chapter 20 Interactions and Cumulative Effects** for further details on the potential interactions and cumulative effects for Material Assets: Land and Property.

17.9 Schedule of Environmental Commitments

Please see **Chapter 22 Schedule of Environmental Commitments** which sets out all the mitigation and monitoring commitments to minimise the potential impacts for human health during the construction and operational phase of the Proposed Scheme.

Chapter 17: Material Assets: Land & Properties

17.10 Chapter References

EPA (2022) *Guidelines on information to be contained in the Environmental Impact Assessment Report*. Environmental Protection Agency, May 2022.

EPA (2015) *Draft Advice Notes for Preparing Environmental Impact Statements*. Environmental Protection Agency, September 2015.

DHPLG (2018) *Guidelines for Planning Authorities and An Bord Pleanála on carrying out Environmental Impact Assessment*. Department of Housing, Local Government and Heritage, August 2018.

MCC (2022) Planning Applications – ePlan Portal. Available at: <https://www.mayo.ie/planning/search>

MCC (2021) Mayo County Development Plan 2022 – 2028. Available at:
<https://www.mayo.ie/planning/county-development-plans/2022-2028>